

## **PLANNING COMMISSION MEETING**

City of Gardner, Kansas  
Tuesday, January 28, 2020  
7 p.m.  
Gardner City Hall  
120 E. Main Street

### **CALL TO ORDER**

The meeting of the Gardner Planning Commission was called to order at 7:00 p.m. on Tuesday, January 28, 2020, by Chairman Scott Boden.

### **PLEDGE OF ALLEGIANCE**

Chairman Boden led the Pledge of Allegiance.

### **ROLL CALL**

Commissioners present:

Chairman Boden  
Commissioner Deaton  
Commissioner Ford  
Commissioner Hansen  
Commissioner Meder  
Commissioner McNeer

Commissioners Absent:

Commissioner Simmons-Lee

Staff members present:

Larry Powell, Director, Business & Economic Development  
Kelly Drake Woodward, Chief Planner  
Michelle Leininger, Principal Planner  
Robert Case, Planner  
Kristie Hatley, Planning Technician  
Ryan Denk, City Attorney

There were twelve members of the public in attendance.

### **CONSENT AGENDA**

#### **1. Approval of the minutes as written for the meeting on November 19, 2019.**

**Motion made by Commissioner Meder to approve the minutes with the recommendation by Commissioner Hansen to correct the spelling of the word “effective” under the Discussion Items on page 5.**

**Motion seconded by Commissioner Ford.**

**Motion passed 6-0.**

## **REGULAR AGENDA**

### **1. SYMPHONY FARMS AMENITIES AREA**

**FDP-19-04:** Consider a final development plan for an amenities area for Symphony Farms located at the northwest corner of Kill Creek Road and W 167<sup>th</sup> Street.

Ms. Michelle Leininger, Principal Planner, presented the final development plan for this project located at Kill Creek Road along the east and W 167<sup>th</sup> Street along the south. Currently under construction are the pool and restroom/pool equipment building. Future amenities will include a community garden, clubhouse and sports court. The buildings will reflect the architectural theme of the existing historic barn. Staff has found this plan consistent with the Comprehensive Plan and the site is capable of accommodating the proposed buildings and site design elements. Quality architecture and building design and materials are proposed, and the plan is compatible with both the context of the area and the approved preliminary development plan. Staff recommends approval of FDP-19-04 with conditions.

The applicant was present to answer questions.

## **COMMISSION DISCUSSION**

No discussed ensued.

**Motion made after review of application FDP-19-04, a final development plan for Symphony Farms Amenities Area on property located at the northwest corner of Kill Creek Road and W 167<sup>th</sup> Street (Tax Ids CP84410000 0001 and CP84410000 0002) and final development plan document dated August 16, 2019, and staff report dated January 28, 2020, the Planning Commission approves the application subject to the following conditions:**

- 1. The Administrative Plat shall be recorded prior to the issuance of a building permit.**
- 2. Provide No Parking (R8-3) signs: On the east side of Kill Creek, 100 ft north of 167<sup>th</sup> St and North of 166<sup>th</sup> St.**
- 3. Provide No Parking (R8-3) signs: On the west side of Kill Creek, south of 166<sup>th</sup> St and between the parking lot drives, with an additional “Here to Corner” (R7) sign.**

**Motion made by Meder and seconded by Deaton.**

**Motion passed 6-0.**

### **2. HILLTOP RIDGE**

Located at the southwest corner of Kill Creek Road and W 167<sup>th</sup> Street

- a. **Z-19-05:** Consider a rezoning from RUR (Rural, Agricultural uses and single family dwellings) District to R-1 (Single-Family Residential) District for Hilltop Ridge.
- b. **PP-19-06:** Consider a preliminary plat for Hilltop Ridge, a 71.15 acre, 150 lot single-family residential subdivision.

Mr. Robert Case, Planner, began the presentation with Z-19-05, the rezoning of 71 acres.

This request is compatible with the surrounding properties and appropriate for the character of the area which is used as farmland or single-family homes. It was also consistent with the City's Comprehensive Plan. When in the county, the property was zoned for agricultural and large lot residential which was an appropriate residential density when utility infrastructure was unavailable.

The area is urbanizing with the planned growth of Gardner and staff has found the property better suited for an R-1 designation. The removal of the property's current restriction of the minimum ten-acre lot size will result in increased density, traffic and stormwater in the area. However, the applicant is providing for the continuation of Madison Street that will provide another important road connection for existing subdivisions to the south and improve public safety. This single-family development will provide a positive gain to the City's economic growth and the development of new streets will provide interconnectivity between neighborhoods. The applicant's proposal offers a more efficient means of travel within the northwest area of the City. Staff recommends approval of the rezoning as it will not adversely affect the capacities of the utilities, infrastructure or public services in the vicinity. The application to rezone to R-1 single-family development supports the adopted policy of the Comprehensive Plan for the new residential growth areas. It also supports the extension of the existing trail system through its interconnection with the Kill Creek trail future location, which is consistent with the adopted Park System Master Plan.

Mr. Brett Cox, Renaissance Infrastructure, represented the applicant and was available to answer questions.

### **PUBLIC HEARING**

Mr. Tim Coach, 32580 W 171<sup>st</sup> St, stated he has three areas of concern. The first is the low water pressure they are experiencing but said he is aware the City was just doing a water study of the area. Secondly, he said that 172<sup>nd</sup> and Osage is already a drag strip and the proposed design with Osage becoming a through street past Madison to an area further down the hill is just a longer runway for the teenagers. Lastly, his most important concern is the existing trees that are almost 90 years old that he does not want to lose. These are on the south side of Madison and are of high importance to the area.

Ms. Traycie Haney, 32626 W 171<sup>st</sup> St, said her backyard is against those trees and she chose that lot because of the gorgeous view. Everyone in the neighborhood comments how much they like living there because of the beautiful view of trees. They need to be maintained and not torn out to be replaced with new trees.

Ms. Lisa Culbertson, 32500 W 171<sup>st</sup> St, stated she wants the trees to remain, too. Her front yard is 171<sup>st</sup> St with Jessica St teeing into her front windows. Her backyard will be Madison St so she wanted to know the proposed size of the planned easement between her backyard and Madison St. She also inquired if there would be a sidewalk on her side of the street so she could plan for fencing, if needed.

**Motion to close the Public Hearing made by McNeer and seconded by Meder.**

**Motion passed 6-0.**

### **COMMISSION DISCUSSION**

No discussed ensued.

**Motion made after review of case Z-19-05, a rezoning from RUR (Rural, Agricultural uses and single family dwellings) District to R-1 (Single-Family Residential) District for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road, and a staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the application.**

**Motion by Ford and seconded by McNeer**

**Motion passed 6-0.**

Mr. Case continued the presentation with the preliminary plat review. The preliminary plat proposed by the developers includes 150 single-family lots with all utilities located along both W 167<sup>th</sup> St and Osage St. Madison St will be extended along the southern boundary of the plat and a proposed trail extends along the creek to W 167<sup>th</sup> St that will eventually connect with the Kill Creek trail system. Staff has found the application in is in accordance with the Comprehensive Plan and compliant with the Land Development Code. The Comprehensive Plan calls for plans in the new residential growth areas to implement a sidewalk/trail infill program that includes pedestrian through-access connecting subdivisions. This plan connects with St. Johns Trace Subdivision to the south and with the Symphony Farms Subdivision to the north. The proposed phasing is clearly indicated in the application and demonstrates a logical and coordinated approach to development. Impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning, engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments. The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Comprehensive Plan nor impedes the construction of anticipated or planned future public infrastructure within the area. Staff recommends approval.

Mr. Brett Cox, Renaissance Infrastructure, represented the applicant and said they were in agreement with all of the conditions and were working on some minor details on the storm water study. He responded to the questions by the public by stating they planned to match grade on Madison St. as much as possible to save trees and minimize impact by the existing houses.

### **COMMISSION DISCUSSION:**

Commissioner Meder asked about the staff report note regarding the fire department request for a secondary access to the south after phase two of the development is completed. She felt it would help alleviate some of the traffic problems and asked if that should be added as a condition on this motion.



Mr. Larry Powell, Director of Business & Economic Development, replied to earlier questions before answering Commissioner Meder. He said the right-of-way for Madison St is 60' wide, and is directly adjacent to the property line with no right-of-way taken from St. John's Trace nor the backyards of any of the houses along the north side of St. John's. Between the property line and the street is a 15' grassy, treed area on the south side of what will be the new Madison roadway. There will be a stop sign where Osage intersects Madison from the north and the south. The through street is broken up to avoid the same long run as there is for the existing homes.

It was suggested by the public to add a flashing stop sign at that intersection as people may run the stop sign.

Mr. Powell continued to say if there is still a problem with the raceway then a possible solution is to add a stop sign somewhere along the route. The police department could look at that if that is an issue.

The public in attendance felt the stop sign at Osage and Madison should take care of the issue.

Mr. Powell said staff would look at the sidewalk requirement on both sides of Madison and if the south sidewalk was not necessary it could be removed from the plan and that would extend the grass and tree area. Staff will make note of that request.

Commissioner Meder asked if the location of the second access required by the fire department was known.

Mr. Powell responded that dependent upon construction of phase two, the applicant has the choice to either go up to the middle to where the Osage St connection is and go that way or they could go to the right along the west side and hit where Madison will come into existence and take Madison over. Either way is appropriate for providing the secondary access to the south.

It was decided not to add the condition to the motion regarding the secondary access but due to its importance, staff would make note that it would continue to be addressed.

**Motion made after review of case PP-19-06, a preliminary plat for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road, and staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the application subject to the following conditions:**

- 1. Provide a 10' wide trail along 167<sup>th</sup> Street and also extends down along the floodplain located on the northwest side of the development.**
- 2. Provide 60' of ½ right-of-way along 167<sup>th</sup> Street.**
- 3. Approval of a Stormwater Management Plan by the Public Works Department.**

**Motion made by McNeer and seconded by Ford.**

**Motion passed 6-0.**

### 3. TEXT AMENDMENT

- a. **TA-20-01:** Hold a public hearing and consider proposed text amendment TA-20-01 to the *Gardner Land Development Code* regarding the Public Utility Facility-Major land use.
- b. Initiate text amendments to various sections of Title 17 Land Development Code of the Gardner Municipal Code enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.

Ms. Kelly Drake Woodward, Chief Planner, began her presentation of text amendment TA-20-01 stating that specific standards for public utility and airport uses were adopted into the LDC in 2017. Utility uses were classified as either minor or major. Major public utility facilities include generating plants, electrical switching facilities and primary substations, water and wastewater treatment plants, and other similar facilities that provide the general public with services regionally. Currently, in the agriculture and residential zoning districts, minor public utilities are a conditional use subject to additional standards, and major public utilities are not permitted. In the commercial and industrial zoning districts, minor public utilities are a permitted use, and major public utilities are a conditional use, all subject to additional specific use standards. The proposal is to allow major public utilities in the additional zoning district of A – Agriculture as a conditional use subject to additional specific use standards.

This amendment was initiated by the Governing Body to consider allowing the major public utility facility use in additional districts for a more efficient process. Conditional uses, and their expansions, entail a public hearing and recommendation by the Planning Commission with final approval by the Governing Body. The use can be approved with additional conditions to address any other concerns arising from the context, thereby mitigating any potential community concerns while supporting essential public services in an efficient manner. There are ten review criteria for conditional uses which pertain to furthering the intent of the zoning district and adjacent districts, having a positive impact on the public realm, ensuring adequate drainage and public utilities, and being found to be compatible with the character of the area in design and function. All Public Utility Facility – Major uses are subject to additional specific use standards regulating setback from residential districts, height transitions, landscape buffers, and fencing.

As the community grows, there is a need to provide public utility services to outlying areas. Based on a comparison of the adopted utility plans and future land use maps, it may be advisable that some major public utility facilities be developed on sites planned for agriculture or residential zoning. Currently, new major public utility facilities would have to be built on land that is rezoned to a commercial or industrial district, even though the facilities would perhaps be located adjacent to agriculture or residential uses. Then, if the facility was ever decommissioned or redeveloped, the site would potentially be opened up to various commercial and industrial uses that may not be compatible with the adjacent land uses unless the property was rezoned before redevelopment. Of additional concern, the LDC provides that nonconforming uses (that were legally initiated prior to the adoption or amendment of this Code, but would not meet the terms of the current code) may continue to exist (or be grandfathered in), but may not be expanded beyond the existing area of the lot. The City's wastewater treatment plant is located on a site zoned Agriculture District near Celebration Park along W 159<sup>th</sup> St. Without the amendment, this facility would have to be rezoned to be expanded. Examples of existing and planned facilities that would be affected if this amendment was not implemented were presented, including a new electric substation and wastewater treatment plant planned south of I-35. Staff recommends approval of this text amendment.

Commissioner Ford asked what would be considered “major” facilities.

Ms. Woodward replied major facilities would provide services in a more regional way such as electrical facilities, primary substations, water and wastewater treatments plants and natural gas. She said it was somewhat subjective and allowed staff to look at what was being planned to determine if it should be processed as a major or minor utility. Most of the utilities in Gardner are locally operated but considered major because they provide access to a broader area.

### **PUBLIC HEARING**

No comments from the audience.

**Motion made by Meder to close the Public Hearing and seconded by Hansen.**

**Motion passed 6-0.**

### **COMMISSION DISCUSSION:**

Chairman Boden asked what types of transitions or buffers would be built for the utility facilities in the agricultural district and if they would be installed when the facility was constructed or at a later time and how would you provide for a buffer if the surrounding property is undeveloped.

Ms. Leininger explained that staff would look at the city’s Comprehensive Plan to determine future anticipated uses. Then, because it was a conditional use permit, everything would be taken into consideration, including the need for more or less landscape or setback.

Ms. Woodward responded the transitions would be landscape buffers and would be installed when the facility was developed. The specific use standards for the public utility facility-major use provide that they are subject to level 4 buffer requirements just like an industrial facility.

The commissioners discussed the conditional permit process.

**Motion made to recommend that the Governing Body approve text amendment TA-20-01 to the *Gardner Land Development Code*, revising the use provisions for Communications and Utilities to permit Public Utility Facility – Major as a Conditional Use subject to specific use standards in the additional zoning district of A (Agriculture) District as presented in the January 28, 2020 staff report.**

**Motion made by Hansen and seconded by Meder.**

**Motion passed 6-0.**

Ms. Woodward continued with her presentation on item 3b to initiate potential text amendments that focus on Gardner’s new growth areas and enabling regulations that are

consistent with the context of rural areas and preserve rural character. Since the LDC was adopted, some County properties have been annexed into the City. The City has also adopted subarea plans for areas south of I-35 that include a goal to maintain rural character in existing areas until the time that municipal services and market factors allow urban densities to develop. The plans call for residential development patterns such as conservation or cluster development to preserve larger areas for conservation, open space, habitat, regional water management, and agriculture use. The LDC was designed to facilitate a more urban context. Because the city is expanding into rural areas, staff has found the need to look at the regulations to see how to maintain that rural character until the facilities are available there to serve development. If that is allowed to happen organically, it may become difficult later to try to develop a greater density.

Topics staff would like to address to retain rural character and context:

- **Rezoning for annexed land –**
  - LDC provides that all land that is annexed shall be classified as the corresponding city zoning district most similar to existing county zoning district. However, the City Attorney has said that this automatic reclassification is not supported by case law, and a formal process must be undertaken to achieve this reclassification.
  - It may be beneficial to waive the rezoning fee for annexed parcels provided that the reclassification is to the corresponding city zoning district most similar to existing county zoning district, or to a district that is consistent with the future land use map.
- **Process for larger land divisions –**
  - Lot splits for larger parcels, including a width to depth ratio.
  - Currently, the creation of lots less than five acres triggers the plat process, and the LDC does not offer standards for the division of lots larger than this until development occurs. However, it is important to have standards for these larger lot splits so that reasonable development and access will be feasible in the future.
- **Conservation subdivisions** - Planned District/incentives provisions to facilitate subdivisions that preserve large, connected natural areas and offer more compact housing patterns where appropriate utilities can be provided.
- **Excise tax** – the possible deferral of excise tax with plats where development is not yet imminent.
- **Rural road network** - Subdivision standards impacting road networks, access streets and connectivity.
- **Rural road design** - street type standards that address sidewalks and whether to allow new gravel roads.
- **Private road requirements** – provision for private roads with public access.
- **Rural open space** types and requirements.
- **Rural frontage type** - A frontage type that addresses rural character. The most likely frontage type for a rural home would be the suburban yard. Although these could be reasonably applied, including access width limits a max of 24' at the ROW, required trees based on frontage length, and hardscape limit of 40%, staff may need to address screening of other typical front yard activities in rural areas.
- **Rural building type** - Potential building types or building type modifications for rural context. This would most likely entail relaxing some design and performance standards that are more appropriate in areas with a closer relationship to the public realm.
- **Fencing and accessory buildings** - Accommodation of rural livestock fencing and customary accessory buildings in rural development patterns.
- **Outdoor storage and vehicle parking** – different screening and location options.

- **Rural uses** - review of use standards with the context of this area in mind.
- **Building materials and design standards** – building and design that is appropriate for use within a rural context.
- **Buffer and screening** requirements.
- **Stormwater** requirements – opportunities for more regional solutions?
- **Property maintenance** pertaining to vegetation.

Staff requests that the Planning Commission initiate amendments to all applicable sections of the LDC to address these issues and goals.

### **COMMISSION DISCUSSION**

No discussed ensued.

**Motion made to initiate text amendments to multiple sections of the Title 17 Land Development Code of the Gardner Municipal Code to address issues as presented in the January 28, 2020 staff report, or as subsequently presented, enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.**

**Motion made by Deaton and seconded by Ford.**

**Motion passed 6-0.**

#### **4. ELECTION OF A VICE-CHAIR**

Nominate and elect a Vice-Chair of the Planning Commission for a term to expire July 2020.

An election was held but the bylaws state the election of an officer must have a minimum of 4 votes to pass. Two candidates were nominated for Vice-Chair however neither received the number of votes needed. Mr. Powell suggested the election of the Vice-Chair tabled until the next meeting to bring it before all seven members of the Planning Commission.

**Motion to table the election of Vice-Chair to the February meeting made by Ford and seconded by Deaton.**

**Motion passed 6-0.**

### **DISCUSSION ITEMS**

#### **1. GARDNER DESTINATION DOWNTOWN PLAN**

Ms. Woodward gave a brief overview about the study area and the history of the project that began with the *Gardner Main Street Corridor Plan*. The Plan focused on the big picture and crafted a vision that integrated transportation, land use and the environment while collaborating with the community. She presented a short video featuring the Corridor Plan.

The *Gardner Destination Downtown Plan* is the second level of planning and focuses on project development and implementation activities for a smaller, 8-block study area of downtown. She described the steps taken by the steering and implementation committees, community stakeholders, and staff to devise this plan including a Kansas City metro bus tour of similar projects, Walk & Roll tour of Downtown, public events, online surveys, public meetings and meetings with property owners. Mr. Terry Berkbuegler of Confluence, the consultant for the city, presented the latest draft of the *Gardner Destination Downtown Plan*. A question was asked about parking for City Hall and was answered by Mr. Berkbuegler that all existing parking was relocated within the plan along with additional parking spaces overall. The plan will be presented for adoption at the February meeting.

## **2. ANNUAL REVIEW OF THE COMPREHENSIVE PLAN**

Ms. Woodward included within the staff report a history of the Comprehensive Plan and subsequent amendments since its adoption in 2014, including the adoption of additional plans by reference. The *Gardner Destination Downtown Plan* would be the next amendment, but several items were initiated as possible amendments in 2018 that had not yet been implemented. Additional items that could be considered for amendment were identified in a joint City Council/Planning Commission meeting in December 2018. Staff recommended additional action items for 2020 plan amendments. She asked the Planning Commission to initiate these items for anticipated Comprehensive Plan amendments.

**The Planning Commission receives the annual review of the Comprehensive Plan and initiates amendments as identified in the January 28, 2020 staff report for implementation as anticipated amendments to the Comprehensive Plan in 2020, specifically those items identified during the 2018 joint Planning Commission/Governing Body meeting and additional recommended items for 2020.**

**Motion made by Meder and seconded by Ford.**

**Motion passed 6-0.**

## **3. 2019 ANNUAL PLANNING COMMISSION ACTIVITY RECAP**

Ms. Woodward reviewed each of the projects brought before the Planning Commission for the past few years to update them on the progress of the City.

## **ADJOURNMENT**

**Motion to adjourn made by Hansen and seconded by Meder.**

**Motion passed 6-0.**

Meeting adjourned at 9:12 pm



## Planning Commission

January 28, 2020

<u>Name</u>	<u>Address</u>
KEN KELTNER	GARDNER
BRETT COX - Renaissance Twp.	5015 NW Canal, Riverside Mo
JAMES HUMBERT	<del>100</del> 16670 HILL CREEK
Tim & Tanya Coack	32500 W. 171 <sup>st</sup> Gardner
Traycie Haney	32626 W. 171 <sup>st</sup> St.
Randy Thyl-Skuff	Gardner
Lisa Culbertson	32500 W. 171 <sup>st</sup>

## **PLANNING COMMISSION MEETING**

City of Gardner, Kansas  
Tuesday, November 19, 2019  
7 p.m.  
Gardner City Hall  
120 E. Main Street

### **CALL TO ORDER**

The meeting of the Gardner Planning Commission was called to order at 7:00 p.m. on Tuesday, November 19, 2019, by Chairman Scott Boden.

### **PLEDGE OF ALLEGIANCE**

Chairman Boden led the Pledge of Allegiance.

### **ROLL CALL**

Commissioners present:

Chairman Boden  
Commissioner Ford  
Commissioner Gardenhire  
Commissioner Meder  
Commissioner Roberts  
Commissioner Simmons-Lee

Commissioners Absent:

Commissioner McNeer

Staff members present:

Larry Powell, Director, Business & Economic Development  
Kelly Drake Woodward, Chief Planner  
Michelle Leininger, Principal Planner  
Robert Case, Planner  
Kristie Hatley, Planning Technician

There were four members of the public in attendance.

### **CONSENT AGENDA**

1. **Approval of the minutes as written for the meeting on October 22, 2019.**

**Motion made by Gardenhire and seconded by Ford.**

**Motion passed 6-0, 1-absent**

### **REGULAR AGENDA**

1. **TALLGRASS PHASE I**

Located at the northwest corner of University Drive and Moonlight Road.



- a. **FP-19-05:** Consider a final plat for Tallgrass, 1<sup>st</sup> Plat, a 2 lot multi-family residential subdivision.
- b. **FDP-19-03:** Consider a final development plan for Tallgrass Phase I, which includes 184 apartment units in 10 buildings, a clubhouse building and maintenance building.

Ms. Michelle Leininger, Principal Planner, presented the final plat first for discussion and action prior to presenting the final development plan. The first phase of the development will be located along University Drive between Gretna Street and Moonlight Road. The developer will be constructing Evergreen Street and extending Gretna Street to their intersection. Sidewalks will be constructed along all new streets and a trail will be constructed along the west side of Moonlight Road. The final plat was found by staff to be consistent with the preliminary plat and the project is consistent with the housing mix, "New Residential Growth" plan, connectivity and open space preservation and conservation goals of the Comprehensive Plan.

The applicant was present to answer questions.

### **COMMISSION DISCUSSION**

Mr. Larry Powell, Director, stated that the payment of excise tax would need to be researched and resolved at a later date. Excise tax is levied with the act of platting property in the City, however the Code authorizes a credit for projects involving a benefit district for construction of a major street when the square foot assessments to be levied upon the land equal at least the tax rate. This provision is implemented by the Director with appeals going to the City Council. This was just an update for the Commission on an issue that came up after the publication of the staff report.

**Motion made after review of application FP-19-05, a final plat Tallgrass, 1st Phase, a portion of tax Id's CP94500000 0T0C, CP94500000 0T0D, and final plat document dated October 28, 2019, and staff report dated November 19, 2019, the Planning Commission approves the application as proposed, provided the following conditions are met:**

1. Prior to the issuance of a building permit, the application shall obtain approval from the Johnson County Board of Commissioners.
2. Prior to the Mayor signing an approved recordable plat, the applicable excise tax shall be paid to the City.
3. The construction plans for any utilities, infrastructure, or public facilities shall meet all technical specifications and public improvement plans shall be submitted and approved prior to the release of the plat for recording.
4. Prior to the release of the final plat for recording, the applicant shall provide a final stormwater management plan and obtain approval from the Public Works Department;

**and recommends the Governing Body accept dedication of right-of-way and easements.**

**Motion made by Gardenhire and seconded by Meder.**

**Motion passed 6-0.**

Ms. Leininger continued her presentation of **FDP-19-03**, a project that includes 10 apartment structures with a total of 184 units, 5 garage structures, clubhouse with a swimming pool, a mail house, trash compactor enclosure, and a maintenance building. Staff found this final development plan consistent with the preliminary development plan and the site capable of accommodating all of the buildings, uses and site design elements. The architecture and materials would provide for quality buildings and the overall design would be compatible to the context considering the location near residential and commercial properties. There was one deviation request as follows:

**Plant Specifications Standard: Turf:** All proposed or required turf areas shall be sodded.

**Proposed:** Applicant proposed sod be placed between the building fronts and parking lot sidewalks, up to 20' away from the building sides and rears and along any curbs or sidewalks that had yard drainage flowing toward the walks or curbs. The remaining areas would be hydro-seeded. The applicant would irrigate areas surrounding and adjacent to all buildings and constructed amenities. They had not anticipated irrigating open spaces, including civic spaces and were requesting approval of hydro-seeding those areas. They felt the sizable amount of green space made sodding those areas impractical because of the watering required of sod.

Staff responded that sites have been required to be sodded both in the current and previous codes because landscaping would stay in place and have a better visual impact to the site. Sod was even more important for residential development, as it is more likely for people to be walking onsite, potentially immediately after it was laid. Regardless of seed or sod, both would need to be watered and maintained. Hydro-seed, while less expensive, would take longer to establish, approximately two or more months before foot traffic was recommended, and weeds were a given. Because sod has a better success rate, staff would recommend maintaining the requirement for turf areas to be sodded and this is a recommended condition of approval. If the Commission wanted to approve a deviation, staff would recommend allowing for hydro-seed lawn in large turf areas only.

### **COMMISSION DISCUSSION**

Commissioner Ford asked for clarification on the hydro-seeding and Ms. Leininger responded.

Commissioner Meder commented she understood the importance of sod within the code and supported it.

**Motion made after review of Application FDP-19-03, a final development plan for Tallgrass, 1<sup>st</sup> Plat dated October 4, 2019, and staff report dated November 19, 2019, the Planning Commission approves the application as proposed, provided the following conditions are met:**

- 1. Prior to the issuance of a building permit, a final plat shall be approved by the Planning Commission, with rights-of-way and easements accepted by the Governing Body, excise tax shall be paid and the plat shall be filed and recorded with Johnson County.**
- 2. Prior to the issuance of a building permit, the application shall obtain approval from the Johnson County Board of Commissioners.**

3. **Prior to the issuance of a building permit, the applicant shall submit a photometric study and lighting plan meeting lighting standards, and shall be reviewed and approved by Staff.**
4. **The applicant shall provide a final stormwater management plan and obtain approval from the Public Works Department.**
5. **Landscaping plans shall be revised to remove the note about hydro-seeding turf areas.**

**Motion made by Simmons-Lee and seconded by Ford.**

**Motion passed 6-0.**

## **2. MAIN STREET MARKETPLACE**

**FP-19-06:** Consider a revised final plat for 4 commercial lots located just west and north of the intersection of Moonlight Road and Main Street (US Hwy 56).

Mr. Robert Case, Planner, presented the final plat for this four lot, 13.407 acre development. He stated there were multiple owners of the site which was surrounded by a combination of single and multi-family residential and commercial uses. A majority of the land that made up Lots 1 and 2, located on the west side of the development, had never been platted. Lots 3 and 4, located on the east side of the subdivision, were part of a previously platted development. In 2018, a preliminary plat for this site along with an additional parcel was approved by the Planning Commission, Governing Body, County Airport Board, and Johnson County Board of County Commissioners but the final plat was never recorded. All utilities are available to the site along E Main Street, E Lincoln Lane and Moonlight Road, and the public improvement plans had been approved by the City Public Works Department. As part of the proposed final plat, rights-of-way are being dedicated along E Main Street for highway improvements and a new dedication and re-dedication are being proposed for Lincoln Lane.

Staff found the plat consistent with the *Land Development Code* and *Gardner Main Street Corridor Plan*. A stormwater management plan was approved by the City and a traffic impact study was approved by both the City and KDOT. No utility extensions were proposed and an excise tax credit would be granted for public improvements. Excise tax would be assessed only on those portions of the development currently unplatted, but for this project, Section 17.04.060 D(8) would be in effect. This Section would allow for a credit on the excise tax to be granted by the City for land that is part of a developer's agreement with the City to pay for the construction of improvements through the creation of a benefit district, provided that the square foot assessments to be levied upon the land would equal at least the tax rate. The developer will be making improvements to intersections along E Main Street in an amount that is greater than the estimated excise tax and therefore will be granted a credit. Staff recommended approval of the final plat and sending a recommendation to the Governing Body to accept the dedication of rights-of-way and easements as outlined in the suggested motion.

### **COMMISSION DISCUSSION:**

No discussed ensued.

**Motion made after review of Application FP-19-06, a final plat for Main Street Market Place, Parcel ID's CP14400000 0001, CP65500000 0001C, CF221424-4009, CF221424-4037, CP65500000 0001G, CP99000000-0047, CP35500000-0001, located at the northwest corner of S. Moonlight Road and E. Main Street (US Highway 56), a staff report dated November 19, 2019 and a final plat dated November 12, 2019, the Planning Commission approves the application and recommends the Governing Body accept dedication of rights-of-way and easements.**

**Motion made by Ford and seconded by Meder.**

**Motion passed 6-0.**

### **DISCUSSION ITEMS**

Commissioner Tory Roberts announced that effective at the conclusion of tonight's meeting, she would resign from the Planning Commission and the Board of Zoning Appeals. She will be serving on the City Council starting in January 2020.

### **ADJOURNMENT**

**Motion to adjourn made by Ford and seconded by Gardenhire.**

**Motion passed 6-0.**

Meeting adjourned at 7:30 pm.



## Planning Commission

November 19, 2019

Name

Address

ERIC HANSEN

220 N Poplar Dr GARDNER

Lydia Kepler

16255 Blair Ct. Gardner

Tony Updich

Tallgrass Apts

Todd Blackley

**PLANNING COMMISSION STAFF REPORT****NEW BUSINESS ITEM NO. 1****MEETING DATE: OCTOBER 22, 2019****PREPARED BY: MICHELLE LEININGER, AICP, PRINCIPAL PLANNER**

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**PROJECT NUMBER / TITLE: FDP-19-04: Final development plan for Symphony Farms Amenities Area**

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**PROCESS INFORMATION****Type of Request:** Final Development Plan**Date Received:** November 22, 2019**APPLICATION INFORMATION****Applicant:** Jim Long, Anderson Engineering, Inc.**Owner:** Lifestyle Building & Design LLC**Parcel ID:** CP84410000 0001 & CP84410000 0002**Location:** Northwest Corner of S Kill Creek Road and W 167<sup>th</sup> Street**REQUESTED ACTION**

The applicant has requested approval of a final development plan for the Symphony Farms Amenities area, a subdivision amenities area to include a clubhouse, restroom structure, pool, sport courts, and community garden on property located at the northwest corner of Kill Creek Rd and W 167<sup>th</sup> St.

**EXISTING ZONING AND LAND USE**

Currently the property is zoned RP-1 (Planned Single-Family Residential) District and has an agricultural use (barn) located on the property.

**SURROUNDING ZONING AND LAND USE**

<b>Zoning</b>	<b>Use(s)</b>
<b>North of subject property</b>	
R-1 (Single-Family Residential) District	Household Living-Single-Family Residences
<b>East of subject property</b>	
R-1 District	Vacant property with a pond
<b>South of subject property</b>	
County RUR (Rural, Agricultural uses and single family dwellings) District	Crop Agriculture
<b>West of subject property</b>	
County RUR District	Household Living-Single-Family Residences

## **EXISTING CONDITIONS**

Currently the subject properties are neighborhood open space. The barn onsite is periodically utilized for gatherings though this use will discontinue.



## **BACKGROUND / HISTORY**

The properties were annexed into the city in June 2003 and were rezoned from A (Agriculture) District to R-1 (Single-Family Residential) District in July 2003. These properties were approved as part of a preliminary plat for Symphony Farms (PP-05-09) in September of 2005 and for a final plat for Symphony Farms III (FP-06-17) in August of 2006. The final plat included two lots, the larger lot was for an amenities area for the Symphony Farms neighborhood and the second lot was for a potential public safety facility and dedicated to the City. In 2007 a site plan for the amenities site (SP-07-06) was approved. The site was not developed and the site plan is now expired. The public safety facility lot was transferred to Johnson County Fire District #1 when the city relinquished the fire and medical duties to the Fire District. This site has been determined to be too small for a fire station and the site has remained undeveloped.

At the September 2019 Planning Commission meeting, the Commission approved a site plan (SP-19-19-04) for this site for a pool, restroom facility and parking lot on this site. The applicant has submitted administrative plat (AP-19-12) to combine the properties and will be vacating the easements that are unnecessary for the new configuration to the Johnson County RTA for recording however it has not been finalized at the time of this staff report. In order to move forward with the overall plans for the amenities area as originally proposed, the property had to be rezoned to a planned district. The rezoning from R-1 (Single-Family Residential) District to RP-1 (Planned Single-Family Residential) District (Z-19-04) with an associated preliminary development plan (PDP-19-04) was approved by Council at their November 18, 2019 meeting.

### **CONSISTENCY WITH COMPREHENSIVE PLAN**

The Comprehensive Plan identifies the property as low-density residential uses with open space to the west. While this is not a residential use, it is a private accessory amenity for the Symphony Farms residential development. This is a customary accessory use and staff finds that the site plan for an amenity area is consistent with the Comprehensive Plan.

### **STAFF ANALYSIS – FINAL DEVELOPMENT PLAN**

The intent of the planned zoning districts is to encourage innovation in development, unique and distinctive places, and efficient use of land, buildings and infrastructure. Specifically, planned zoning and development plans to support the flexibility offered through planned zoning should accomplish one or more of the following:

1. Preservation of distinct natural features on the land and integration of them into amenities for the project.
2. Reduction in potential environmental impacts from the development, whether through disturbance of land, location of streets and infrastructure or operation of sites and buildings.
3. Create broader community benefits through the better integration of multiple projects, resulting in designs that could not have otherwise been accomplished through the base zoning districts and standards.
4. Improved public realm designs, including streetscapes, open space, civic spaces and the relationship of buildings and sites to those spaces.
5. Creation of unique projects and places that are particularly suited for the planned location based on the characteristics of the land or the context and relationship to surrounding areas.

Departures from the standards associated with all zoning districts may be considered through planned zoning, and approved provided they are based upon a comprehensive and well-integrated development plan for the area. These departures shall not be justified for simply wanting flexibility or deviations from standards based upon a site plan.

A preliminary development plan represents an overall plan for a development to include the specific land uses and their density/intensity, block and lot patterns, building types and scale, design characteristics, and other building and site design elements that reflect the proposed character of the plan. This plan shall have a particular emphasis on how these elements relate to the public realm plan and where transitions between these elements occur at a parcel or block scale, both within the development and in coordination with abutting property. The development plan shall specifically identify where development standards may differ from those otherwise applicable through the base zoning districts and general development requirements of this Code.

A final development plan provides specific details of the portion or entirety of the approved preliminary development plan. This includes elevations, building materials, landscaping and other specific details. The final development plan has the same review criteria as a site plan.



**17.03.040 (F) Review Criteria:**

1. In general, any final development plan in compliance with all requirements of this Code shall be approved.

**Staff Comment:** *The final development plan is in compliance with all requirements of the Code with the exception of the two standards that deviations were approved for at the October 2019 meeting. These deviations include a deviation from the front setback from the Small Civic Building type, 20'-50' to 80' and required parking to reduce to 7 onsite parking spaces.*

2. In making a determination of compliance, or for final development plans accompanying any discretionary review or administrative relief, the review body shall consider whether:
  - a. The site is capable of accommodating the buildings, proposed use, access and other site design elements required by the Code and will not negatively impact the function and design of rights-of-way or adjacent property.

**Staff Comment:** *The site is capable of accommodating the proposed use which includes buildings, and recreational facilities and not negatively impact the function and design of right-of-way or adjacent properties.*

- b. The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.

**Staff Comment:** *The design and arrangement of the buildings and open space is consistent with good planning and design. The parking offers safe connections to the pool and clubhouse, the storm water drainage is maintaining support to the adjacent property to the west's pond, landscaping is provided for screening and shade and the site as a whole has a variety of amenities to support many activities for the residence.*

- c. The architecture and building design uses quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.

**Staff Comment:** *The materials and architecture are good quality and design. The building architecture supports the historic barn existing onsite to create a cohesive theme. The community garden proposes utilizing steel troughs for the planting areas to further the historic farm theme.*

- d. The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.

**Staff Comment:** *The overall design is compatible to the context with the architectural theme established by the existing barn. The layout maintains many existing large trees and provides for ample open space for different activities.*

- e. Whether any additional site-specific conditions are necessary to meet the intent and design objectives of any of the applicable development standards.

**Staff Comment:** *No additional site specific conditions are necessary beyond what was provided for on the preliminary development plan.*

3. The application meets the criteria for all other reviews needed to build the project as proposed.

**Staff Comment:** *The administrative plat combining the two properties will need to be recorded with Johnson County. The document is currently being reviewed by the County but the plat will need to be recorded prior to the issuance of a building permit. A building permit for the clubhouse building will need to be obtained.*

4. The recommendations of professional staff.

**Staff Comment:** *Staff recommends approval of the final development plan, with the conditions outlined below.*

5. The final development plan is in substantial compliance with the approved preliminary development plan.

**Staff Comment:** *The final development plan is in substantial compliance with the approved preliminary development plan.*

## **STAFF ANALYSIS – INFRASTRUCTURE / OTHER**

### **SANITARY SEWER**

The City of Gardner is the sanitary sewer provider in this area and an existing manhole is provided at the north property line near the residence. A service line will be constructed from this manhole to the restroom facility.

### **WATER**

The City of Gardner is the water provider in this area and an existing water line runs along the property line, along Kill Creek Road. A service line will be constructed from the existing line to the restroom facility.

### **STORM WATER**

Stormwater will be drain through the southwestern portion of the lot and to the pond on the lot to the west of the property.

### **ELECTRIC**

Electric will be extended onto the lot from an existing box located at the northeast corner of the lot. Electric is provided by the City of Gardner.

### **ROADWAY NETWORK; VEHICULAR ACCESS; SIDEWALKS**

No new streets will be added with the proposed site plan. Public sidewalks currently exist along the west side of Kill Creek Road and no new sidewalks are required along W. 167<sup>th</sup> Street at this time. Access to the site will be through a one-way drive along Kill Creek Road from the two proposed accesses from north to south. A gravel drive exists from W 167<sup>th</sup> Street to the north, into the property. This will be removed and a new fire only access will be provided further west along W 167<sup>th</sup> Street. This gravel access will have to have a concrete apron onto the street installed before the gravel portion occurs in order to keep gravel off the street.

The applicant is counting for on-street parking to count towards the parking requirement. Public Works has required that no parking signs be placed on the east side of Kill Creek Rd and parking only be permitted along the west side. This allows for pedestrians to safely access directly to the sidewalk which connects to the site.

### **FIRE SERVICE**

A fire access drive has been provided on the western end of the property for emergency access to the barn and community garden area. This drive is to be gated and only for emergency access.

## **ACTIONS**

Per Section 17.03.010 (G) of the *Gardner Land Development Code*, a review body may take the following actions (or recommend the following actions):

1. Approve the application.
2. Approve the application with conditions or modifications to lessen or mitigate a potential impact from the proposed application.
3. Deny the application.
4. Continue the application to allow further analysis. The continued application shall not be more than 60 days from the original review without consent of the applicant. No application shall be continued more than once by each review body without consent of the applicant.

## **EFFECT OF DECISION**

Final Development Plan – Approval of a final development plan shall authorize the applicant to apply for a building permit and other applicable permits. The Director may approve minor amendments to approved final development plans without the refiling of a new application, but in no event shall the Director approve any change that does not qualify for an administrative site plan, or any change that is different from any condition of approval of the final development plan.

## **ATTACHMENTS**

- I. Final development plan document
- II. Application

## **RECOMMENDATION**

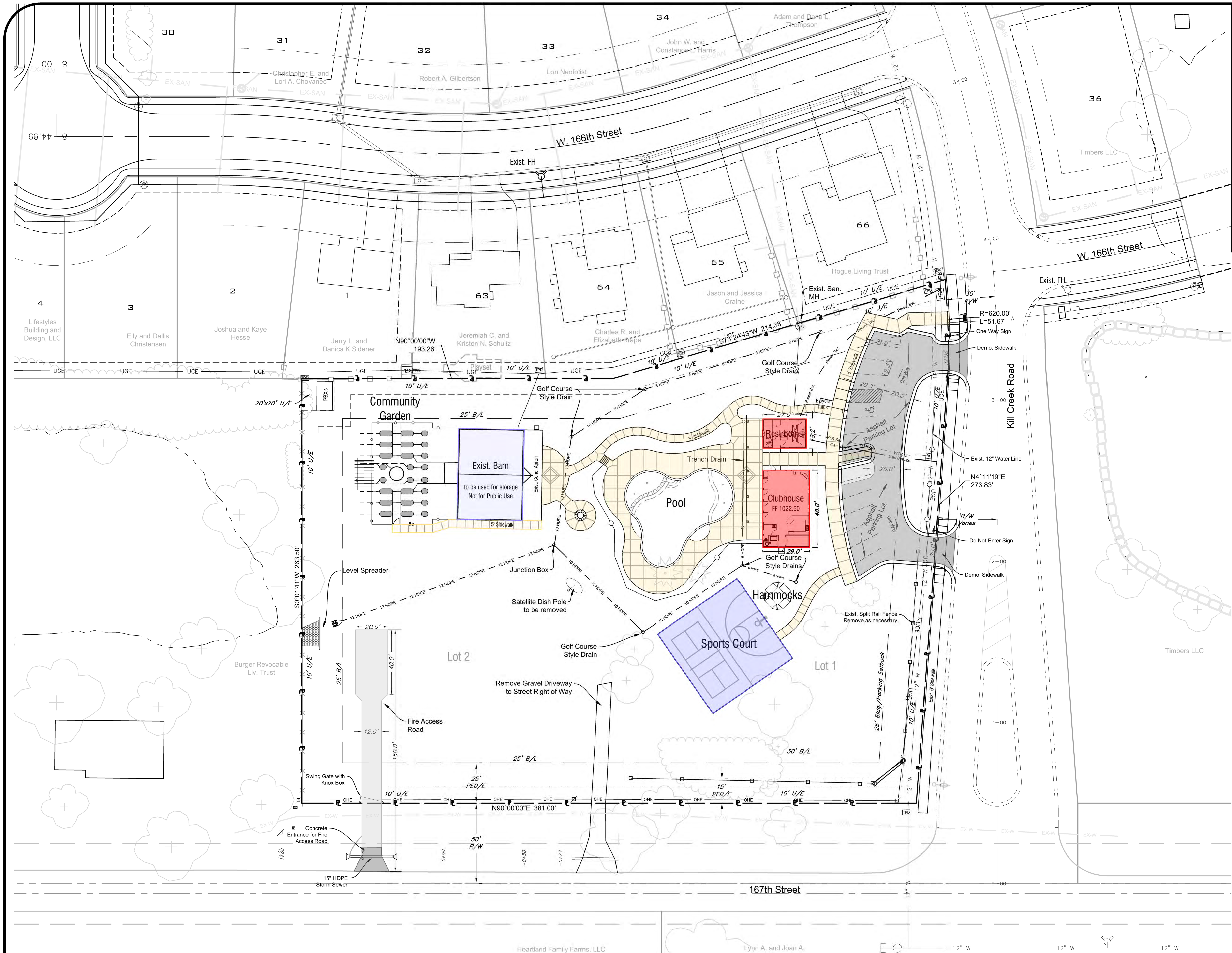
Staff recommends approval of FDP-19-04 for the final development plan for the Symphony Farms Amenities Area with the conditions outlined below.

### **Recommended Motion:**

After review of application FDP-19-04, a final development plan for Symphony Farms Amenities Area on property located at the northwest corner of Kill Creek Road and W 167th Street (Tax Ids CP84410000 0001 and CP84410000 0002) and final development plan document dated August 16, 2019, and staff report dated January 28, 2020, the Planning Commission approves the application subject to the following conditions:

1. The Administrative Plat shall be recorded prior to the issuance of a building permit.
2. Provide No Parking (R8-3) signs: On the east side of Kill Creek, 100 ft north of 167th St and North of 166th St.
3. Provide No Parking (R8-3) signs: On the west side of Kill Creek, south of 166th St and between the parking lot drives, with an additional “Here to Corner” (R7) sign.





**JoCo PROJECT BENCHMARK #638**  
PROJECT BENCHMARK: JCPW BM 638  
Bernsten Aluminum Disk stamped BM 638.  
Elev. = 1015.18  
From 167th St & Waverly Rd, go west on  
167th Street 0.8 +/- miles to a box  
headwall, on south side of 167th, on center  
headwall for box

**PROJECT BENCHMARK #1**  
PROJECT BENCHMARK:  
Manhole Lid - Located at the south  
corner of lots 65 and 66 of Symphony  
Farms  
Rim Elev. = 1019.03

Sheet List Table	
C1	Final Development Plan
C2	Grading Plan and Erosion Control Plan

Owner/Developer  
Lifestyles Building and Design, LLC  
Contact: Jim Humbert  
11237 Nall Avenue, Suite 100  
Leawood, KS 66211  
913-238-6107

Prepared By:  
Anderson Engineering, Inc.  
Contact: Jim Long  
941 W. 141st Terrace, Suite A  
Kansas City, MO 64145  
816-777-0400

ARCHITECT:  
Craig Luebbert Architecture  
Contact: Craig Luebbert  
24 NW Chapman Road, Suite A  
Lee's Summit, MO 64063  
816-536-3472

LANDSCAPE ARCHITECT:  
Meier Landscape Architecture, LLC  
Contact: Jason Meier  
15245 Metcalf Ave.  
Overland Park, KS 66223  
913-787-2817

LEGAL DESCRIPTION:  
Lots 1 and 2, Symphony Farms III, subdivision of land in the City  
of Gardner, Johnson County, Kansas.

#### Site Information:

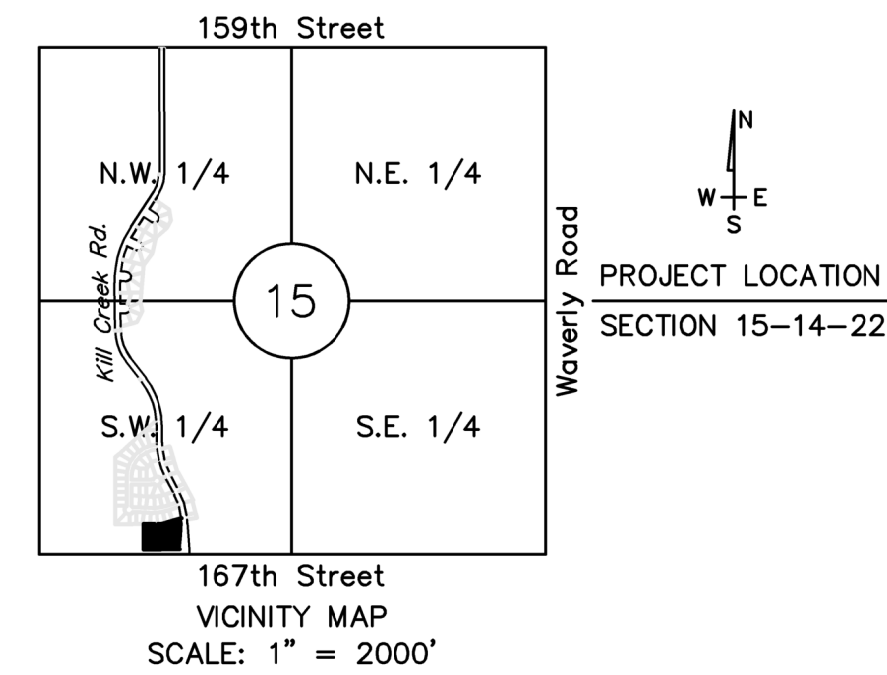
Current Zoning: R-1  
Proposed Zoning: RP-1  
  
Lot 1 Area: 75,767 ft<sup>2</sup>, 1.74 acres  
Lot 2 Area: 33,529 ft<sup>2</sup>, 0.77 acres  
Total: 109,296 ft<sup>2</sup>, 2.51 acres

Clubhouse: Open/Civic space

Parking Calculations:  
Clubhouse Active Space 894 ft<sup>2</sup> = 2.2 spaces  
Pool, Pool Deck, Garden &  
Sport Court 13,830 ft<sup>2</sup> = 13.8  
Passive Space 33,500 ft<sup>2</sup> = 3.35 spaces  
  
Total Spaces Required = 19.4  
Spaces provided = 14 (request deviation)

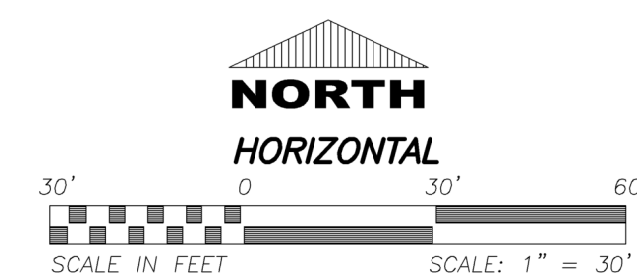
Current Use: Vacant  
Planned Use: Subdivision Amenity Package  
Zoning: R-1  
Parking: 14 stalls (includes 1 Accessible  
Stalls)

Parking Lot/Driveway Material: Asphalt



#### LEGEND

- |  |     |                        |
|--|-----|------------------------|
|  | 900 | Proposed Major Contour |
|  | 901 | Proposed Minor Contour |
|  | 900 | Existing Major Contour |
|  | 901 | Existing Major Contour |
- 
- |  |             |                            |
|--|-------------|----------------------------|
|  | Power Svc   | Power Service Line         |
|  | Gas Service | Gas Service Line           |
|  | WTR Ser     | Domestic Water Line        |
|  | SS          | Sanitary Service Line      |
|  | EX-SAN      | Exist. Sanitary Sewer Main |
|  | OHE         | Overhead Power             |
|  | EX-W        | Existing Water Main        |
|  | 12" W       | Existing 12" Water Main    |
- 
- |  |              |
|--|--------------|
|  | Power Pole   |
|  | Water Meter  |
|  | Water Valve  |
|  | Fire Hydrant |



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DRAWING INFO.		REVISIONS	
NO.	DESCRIPTION	BY	DATE
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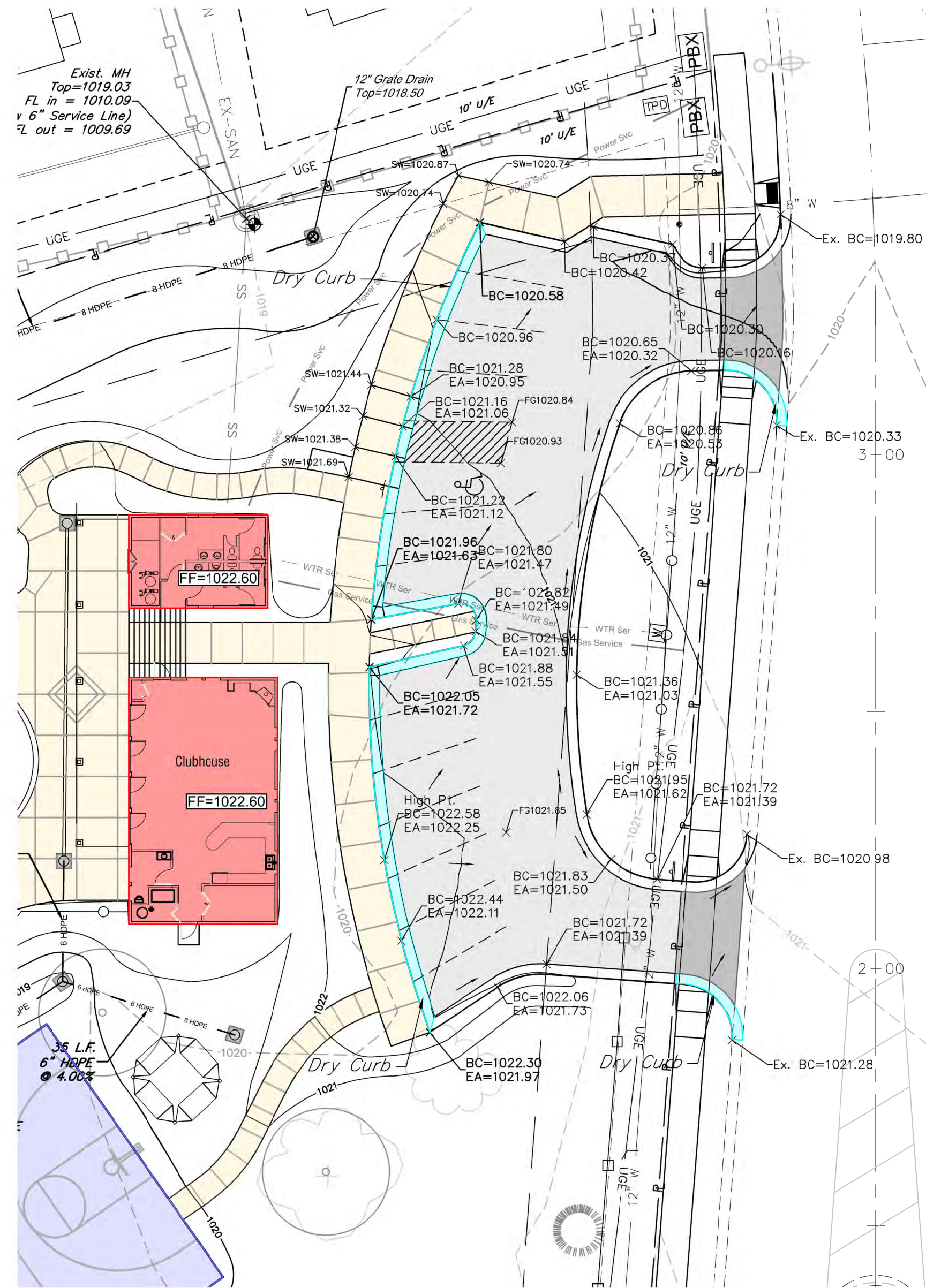
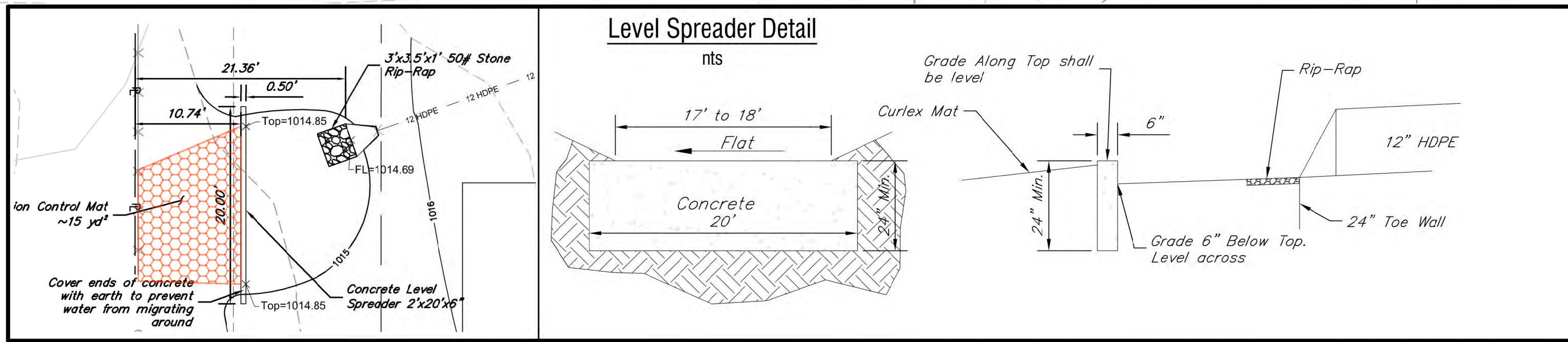
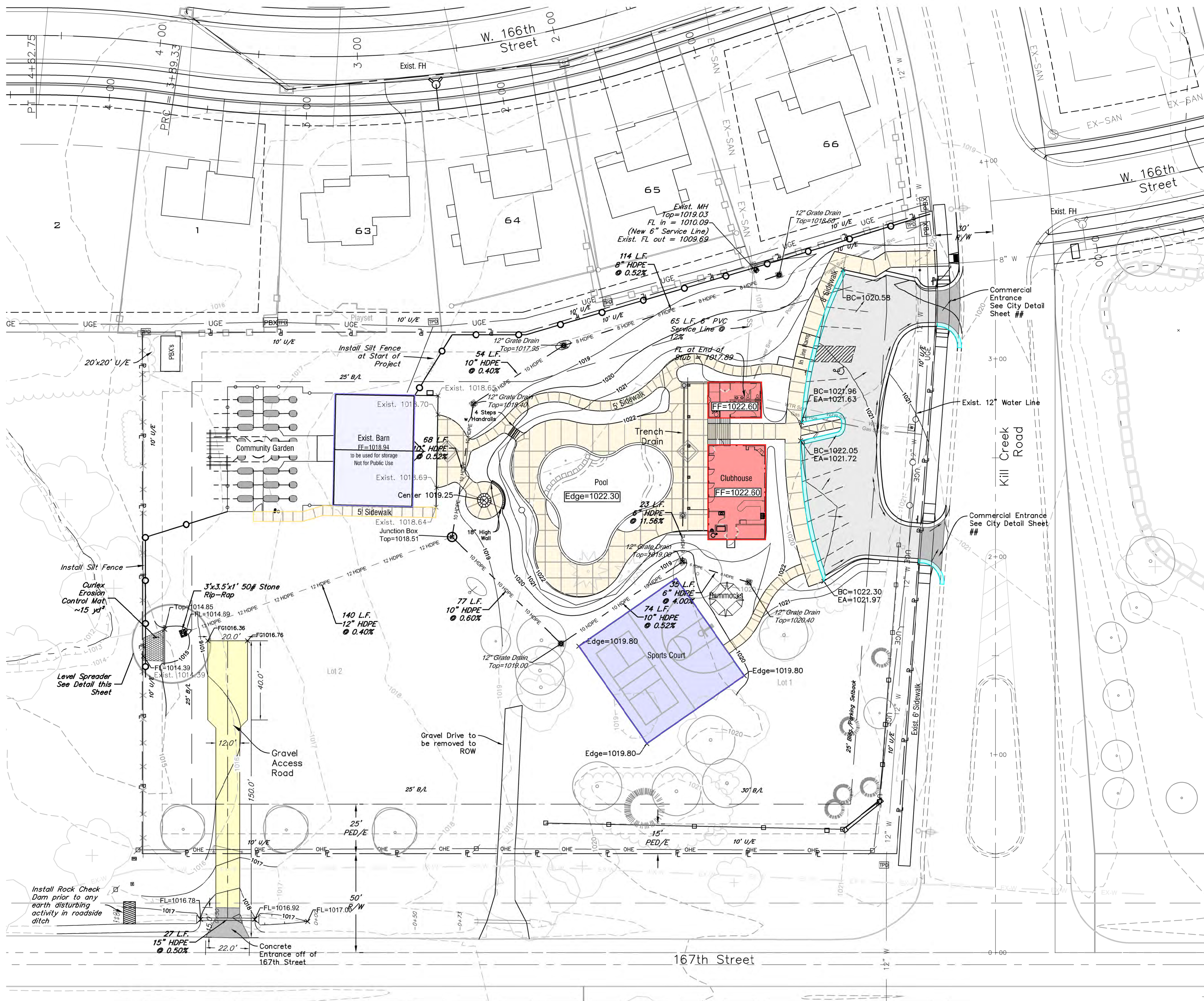
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JLL	JLL	17242	8/16/19		19KCI0040

Amenity Area  
Symphony Farms  
167th and Kill Creek Road  
Gardner, Kansas

Final Development Plan

SHEET NUMBER  
C1  
OF 2





BC	1000	Back of Curb Elevation
EA	1000	Edge of Asphalt/Concrete
FF	1000	Finish Floor Elevation
FL	1000	Flowline Elevation
Top	1000	Top of Structure Elevation
Edge	1000	Edge of Sport Court or Pool
	1000	Grade Shots

900	Proposed Major Contour
901	Proposed Minor Contour
900	Existing Minor Contour
901	Existing Major Contour

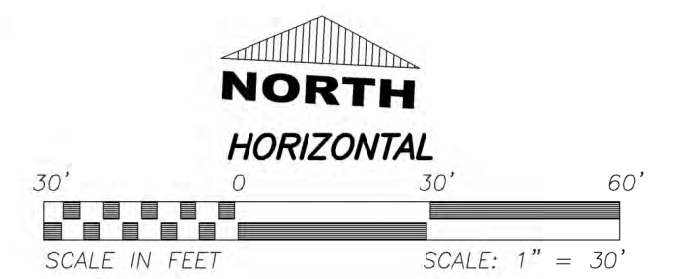
Power Svc	Power Service Line
Gas Service	Gas Service Line
WTR Ser	Domestic Water Line
SS	Sanitary Service Line
EX-SAN	Exist. Sanitary Sewer Main
OHE	Overhead Power
EX-W	Existing Water Main
12" W	Existing 12" Water Main

Power Pole	Power Pole
Water Meter	Water Meter
Water Valve	Water Valve
Fire Hydrant	Fire Hydrant

**JoCo PROJECT BENCHMARK #638**  
 PROJECT BENCHMARK: JCPW BM 638  
 Bernsten Aluminum Disk stamped BM 638.  
 Elev. = 1015.18  
 From 167th St & Waverly Rd, go west on 167th Street 0.8 +/- miles to a box headwall, on south side of 167th, on center headwall for box

**PROJECT BENCHMARK #1**  
 Manhole Lid - Located at the south corner of lots 65 and 66 of Symphony Farms  
 Rim Elev. = 1019.03



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NO.	DESCRIPTION	BY	DATE	DRAWN BY	CHECK BY
1				JLL	JLL

LICENSE NO.	17242
DATE	8/16/19
FIELD BOOK	XXXXX
JOB NUMBER	19KCI0040

Amenity Area  
 Symphony Farms  
 167th and Kill Creek Road  
 Gardner, Kansas

**Grading and Erosion Control Plan**

SHEET NUMBER **C2** OF 2



DESIGN CRITERIA

DESIGN LOADS: Deflection L/480 Main  
Roof. 25 psf. live Ceiling: 10 psf. live  
10 psf. dead 10 psf. dead

- Soil bearing Capacity - 2000 PSF
- Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements or per General Contractors recommendations.
- Foundation walls are not to be backfilled until properly braced.
- Footing shall extend down to frost (36" below finish grade.)
- Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 7" in concrete walls.

STEEL:

- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shimns in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics:  
Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick.-Glued&Nailed
- All exterior walls are dimensioned to outside of 1/2" rigid insulation.
- All exterior walls are 6" (5 1/2" stud plus ), All interior walls are 3 1/2" unless otherwise shown.
- Calculated dimensions take precedence over scaled dimensions.
- All Main level walls are 9'-1 1/8" (9'-1" nom.) high unless otherwise noted or implied.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- Unless noted otherwise, above all openings that are:  
(1) Load bearing and less than or equal to 3 ft. .... use (2) 2x10  
(2) Load bearing and more than 3 ft. .... use (2) 2x12 w/1/2" Plywood between.
- Non-load bearing and less than or equal to 6 ft. ....use (2) 2x8.
- Non-load bearing and more than 6 ft. .... use (2) 2x12 w/1/2" Plywood between.
- All exterior openings use (2) 2x12 w/1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan. (if Applicable)
- All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- Collar ties are to be spaced 4'-0" o.c.
- All purlins and kickers are to be 2x8's, unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

- All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- Note: Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on interior walls and ceilings.
- Windows, verify type on Elevations
- Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- Any Changes made to plans shall be brought to the attention of the Architect prior to any modifications.

ABBREVIATIONS

A/C ADJ AWG BLDG BSMT BTM STW CAWT C.J. CLG CEIL CMU C.O. CONC DBL DH	Air Conditioner Adjustable Awning Building Basement Bottom Between Cantilever Ceiling Joist Ceiling Ceiling Concrete Masonry Unit Cased Opening Concrete Double Double Hung	DISH DN DRY EA ENT EXP EXT FIN F.J. FLUOR FTG GALV GARB G & N G.L. HDR	Dishwasher Down Dryer Each Entertainment Exposure Editor Finished Floor Joist Fluorescent Footing Galvanized Garbage Disposal Glued & Nailed Gypsum Header Header	INSUL INT JST JVL LIN LVL MAX MBR MICRO MIN MISC O.C. O.R.D. OPNG PC PICK POLY	Insulation Interior Joist Laminated Veneer Lumber Linen Maximum Master Bedroom Microwave Minimum Miscellaneous On Center Overhead Door Opening Pull Chord Picture Polyethylene	PROJ RAD RAFTS RAFR REFRIG RM SEC SHWR S.L. SPP STA STD STL STRUCT T.C. T & G TRANS	Projection Radius Rafters Refrigerator Room Second Shower Side Lite Sump Pump Pit Stationary Standard Steel Structural Trash Compactor Tongue & Groove Transom	TRAP UL UNEX WASH WD WH W/V.M.  @  2W 3W 4W  WW	Trapzoid Underlayment Unexcavated Washer Wood Water Heater Welded Wire Mesh  At Line Two Wide Three Wide Four Wide Center Line With Diameter
--	--	---	--	--	---	---	---	---	---

A NEW COMMUNITY CENTER  
for:  
Symphony Farms

Kill Creek Road  
Gardner, KS

GENERAL NOTES

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND IRC 2012

THE CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS INCLUDING THE OUTLINE SPECIFICATIONS. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS AS SHOWN ON PLANS.

ALL MATERIALS SUPPLIES AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.

FOR EXACT LOCATION AND COUNT OF LIGHT FIXTURES, ELECTRICAL SWITCHES AND OUTLETS, CONSULT WITH OWNER AND OBTAIN APPROVAL

THE OWNER AND CONTRACTOR HAVE THERESPONSIBILITY TO COMPLY WITH ALL CODES, LAWS, RULES AND REGULATIONS IN THE CONSTRUCTION OF THIS HOUSE OR ADDITION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND IS RESPONSIBLE FOR THE LOAD BEARING CAPACITY OF THE SOIL AND THAT IT MEETS OR EXCEEDS THE DESIGN REQUIREMENTS. IF SOIL IS NOT SUITABLE CONTRACTOR SHALL ENGAGE THE SERVICES OF A GEO-TECHNICAL ENGINEER FOR INSPECTION AND RECOMMENDATIONS. THE ARCHITECT IS NOT ENGAGED IN THE SUPERVISION AND OR INSPECTION OF THIS HOUSE DURING CONSTRUCTION, ARCHITECT WILL ADDRESS AND QUESTIONS THAT MIGHT DEEM ARCHITECT ASSISTANCE AT AN AGREED UPON HOURLY RATE.

THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.

THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTORS PERFORMANCE OR THE FAILURE OF THE CONTRACTORS WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.

CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND OR CONDITIONS AT THE JOB SITE BEFORE BEGINNING WORK.

THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK AND RELOCATION.

CONTRACTOR TO LAYOUT BUILDING PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCY IMMEDIATELY.

ALL DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO TRUE NORTH TO SOUTH.

THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC., FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.

BEFORE PERFORMING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ANY EXISTING AND NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DIFFERENCE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.

THE GENERAL CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT- INS AND FINISHES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES, AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.

THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES, OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

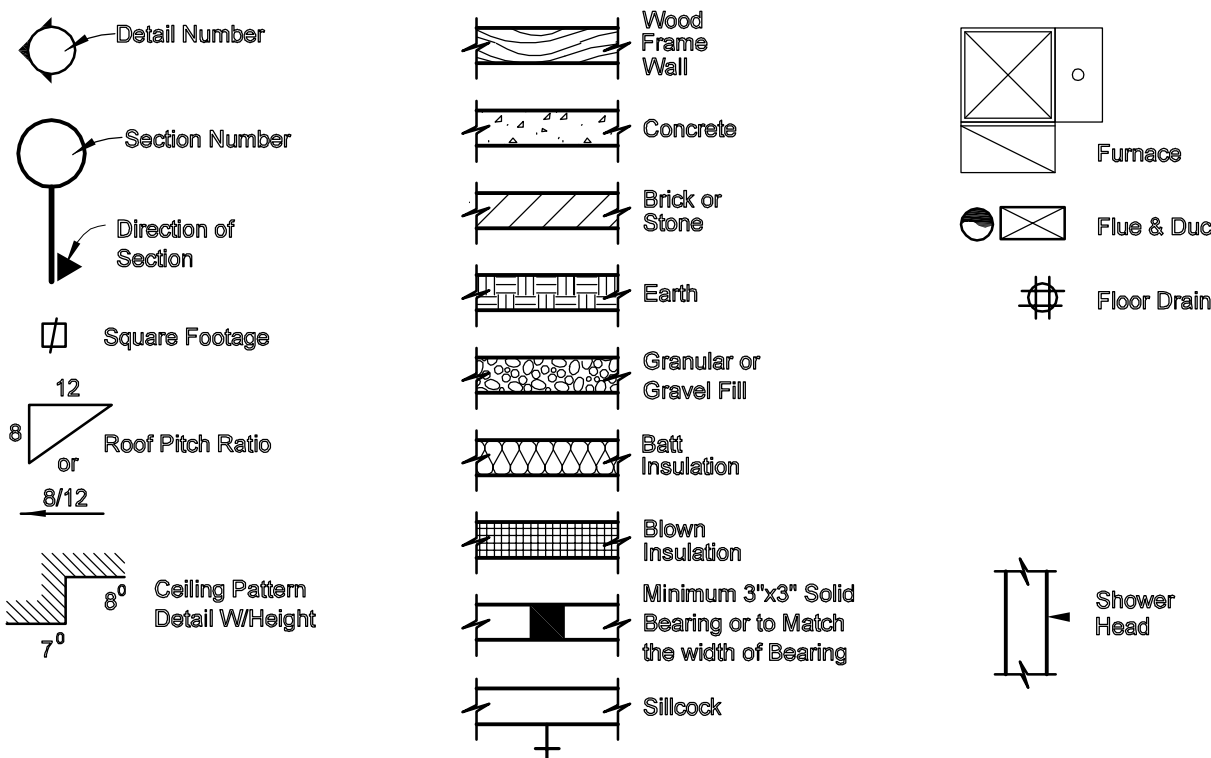
PROJECT CLOSE OUT - REPLACE BROKEN GLASS; CLEAN ALL HARDWARE AND FIXTURES; REMOVE STAINS, SPOTS AND MARKS FOR ALL SURFACES; VACUUM CARPET; LEAVE THE WORK READY FOR OCCUPANCY.

THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEE, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.

PARTITIONING AT WALL CABINETS AND COUNTERS SHALL HAVE HORIZONTAL BRACING.

THE GENERAL CONTRACTOR SHALL ARRANGE TO ACCOMMODATE "NOT IN CONTRACT WORK". WHEN INFORMATION IS INADEQUATE, REQUEST FURTHER INSTRUCTION BEFORE PROCEEDING.

SYMBOLS





PROJECT CODE DATA CHART

A) TYPE OF OCCUPANCY: 303.4 ASSEMBLY A-3 COMMUNITY CENTER

BUILDING SQUARE FOOTAGE: 1,392 SQ.FT.

A.1) OCCUPANT LOAD:(SEE PLAN)

OCCUPANT LOAD BUILDING: OCCUPANT LOAD POOL: OCCUPANT LOAD DECK:  
SEE PLAN: 47 Occupants 2500 / 50 = 50 Occupants 4300 / 30 = 144 Occupants

B) TYPE OF CONSTRUCTION: BUILDING TYPE VB, UNPROTECTED. BUILDING IS NON SPRINKLED

C) CODE REFERENCES:

2012 INTERNATIONAL BUILDING CODE (IBC) ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION - ICC ANSI A 117.1  
2011 NATIONAL ELECTRICAL CODE (NEC) 2009 AMERICAN NATIONAL STANDARD ACCESSIBILITY AND  
2012 INTERNATIONAL FIRE CODE (IFC) USEABLE BUILDINGS AND FACILITIES ICC/ANSI A117.1-2009  
2012 INTERNATIONAL FUEL GAS CODE (IFGC)  
2012 INTERNATIONAL MECHANICAL CODE (IMC)  
2012 INTERNATIONAL PLUMBING CODE (IPC)

D) BUILDING AREA ALLOWABLE 6,000 SQ.FT. ACTUAL 1,392 SQ.FT. E) BUILDING HEIGHT ALLOWABLE 1 STORY / 40' ACTUAL 1 STORY - 26'-6"

F) MINIMUM FIRE RESISTANCE RATINGS REQUIREMENTS FOR BUILDING ELEMENTS

FIRE RATINGS OF STRUCTURAL ELEMENTS PER IBC TABLE 601: TYPE V B

ELEMENTS FIRE RATING REQUIRED

STRUCTURAL FRAME 0  
BEARING WALLS  
EXTERIOR 0  
INTERIOR 0  
NONBEARING EXT. WALLS 0  
NONBEARING INT. WALLS 0  
FLOOR CONSTRUCTION 0  
ROOF CONSTRUCTION 0

6.1) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 47 PERSONS (A-3 OCCUPANCY; BUILDING - COMMUNITY CENTER)

	WATER CLOSETS	REQUIRED	PROVIDED
24 FEMALE:	SEE NOTE 2 BELOW	1	2 PLUS 1 FAMILY TOILET (3)
24 MALE:	SEE NOTE 1 BELOW	1	2 PLUS 1 FAMILY TOILET (3) 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
24 FEMALE:	SEE NOTE 3 BELOW	1	1 PLUS 1 FAMILY TOILET (2)
24 MALE:	SEE NOTE 3 BELOW	1	2 PLUS 1 FAMILY TOILET (2)
NOTE 1: 1 PER 125			
NOTE 2: 1 PER 65			
NOTE 3: 1 PER 200			

6.2) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 50 PERSONS (A-4 OCCUPANCY; POOL)

	WATER CLOSETS	REQUIRED	PROVIDED
25 FEMALE:	SEE NOTE 2 BELOW	1	3
25 MALE:	SEE NOTE 1 BELOW	1	3 WATER CLOSET & 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
25 FEMALE:	SEE NOTE 4 BELOW	1	3
25 MALE:	SEE NOTE 3 BELOW	1	2
NOTE 1: 1 PER 15 FOR THE FIRST 1500			
NOTE 2: 1 PER 40 FOR THE FIRST 1520			
NOTE 3: 1 PER 200			
NOTE 4: 1 PER 150			

6.3) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 144 PERSONS (A-5 POOL DECK - OUTDOOR ACTIVITIES)

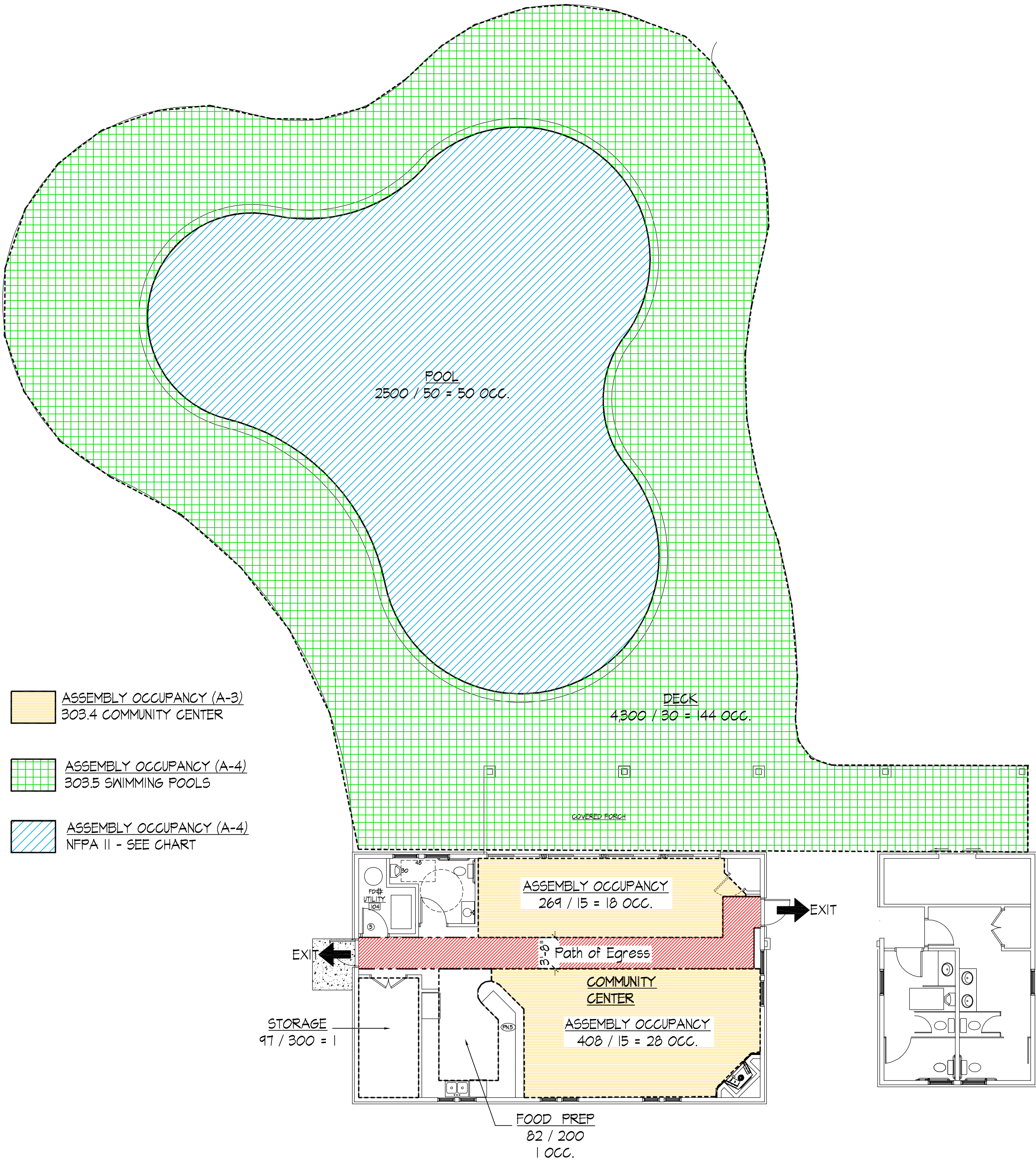
	WATER CLOSETS	REQUIRED	PROVIDED
12 FEMALE:	SEE NOTE 2 BELOW	1	3
12 MALE:	SEE NOTE 1 BELOW	1	3 WATER CLOSET & 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
12 FEMALE:	SEE NOTE 4 BELOW	1	3
12 MALE:	SEE NOTE 3 BELOW	1	2
NOTE 1: 1 PER 15 FOR THE FIRST 1500			
NOTE 2: 1 PER 40 FOR THE FIRST 1520			
NOTE 3: 1 PER 200			
NOTE 4: 1 PER 150			

OCCUPANT LOAD FACTOR FOR POOL  
DECKS PER NFPA 101

Table 7.3.1.2 Occupant Load Factor

Use	(ft² per person)*	(m² per person)*
<b>Assembly Use</b>		
Concentrated use, without fixed seating	7 net	0.65 net
Less concentrated use, without fixed seating	15 net	1.4 net
Bench-type seating	1 person/18 linear in.	1 person/455 linear mm
Bench-type seating	Number of fixed seats	Number of fixed seats
Waiting spaces	See 12.1.7.2 and 13.1.7.2.	See 12.1.7.2 and 13.1.7.2.
Kitchens	100	9.3
Library stack areas	100	9.3
Library reading rooms	50 net	4.6 net
Swimming pools	50 (water surface)	4.6 (water surface)
Swimming pool decks	30	2.8
Exercise rooms with equipment	50	4.6
Exercise rooms without equipment	15	1.4

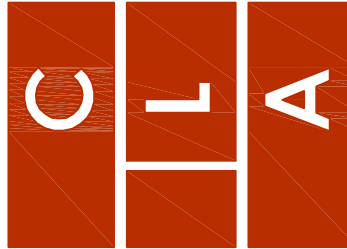
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- ASSEMBLY OCCUPANCY (A-3)  
303.4 COMMUNITY CENTER
- ASSEMBLY OCCUPANCY (A-4)  
303.5 SWIMMING POOLS
- ASSEMBLY OCCUPANCY (A-4)  
NFPA 11 - SEE CHART



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Construction Documents

Symphony Farms Clubhouse

Kill Creek Rd.  
Gardner, KS

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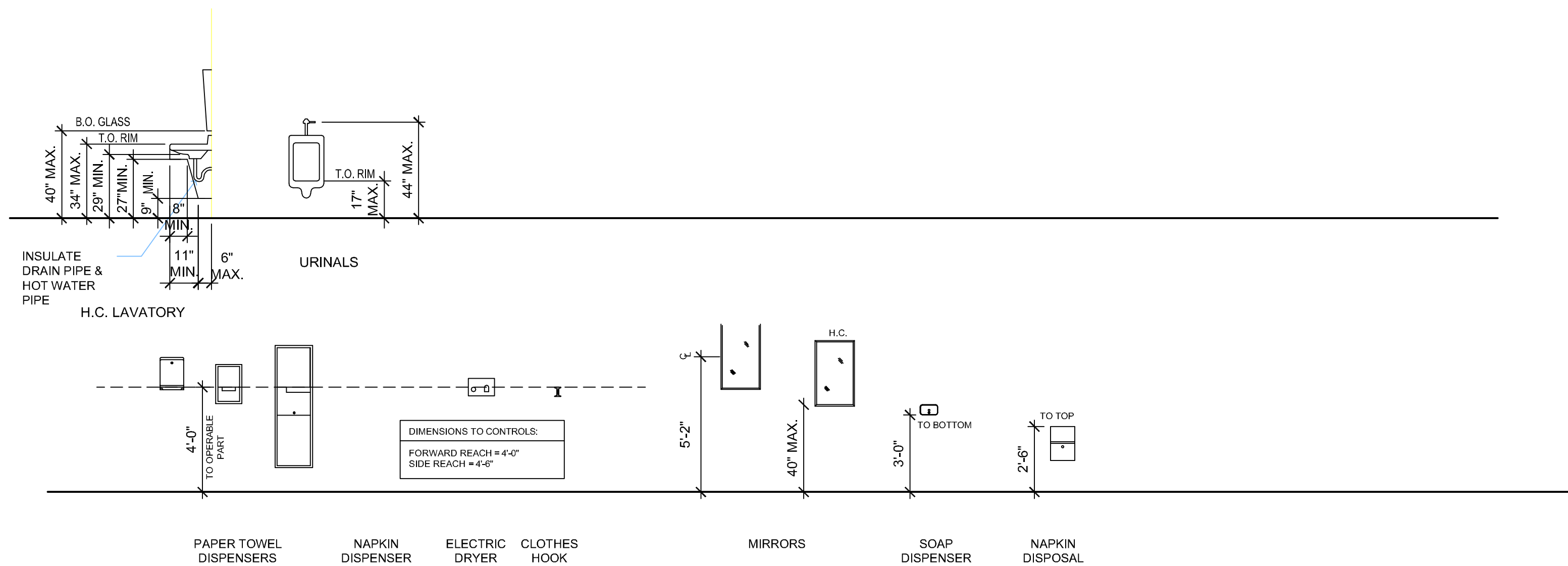
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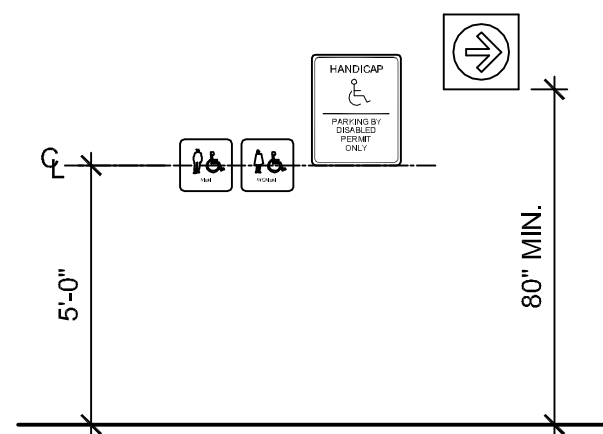
1 Code Plan  
SCALE: 3/16"=1'





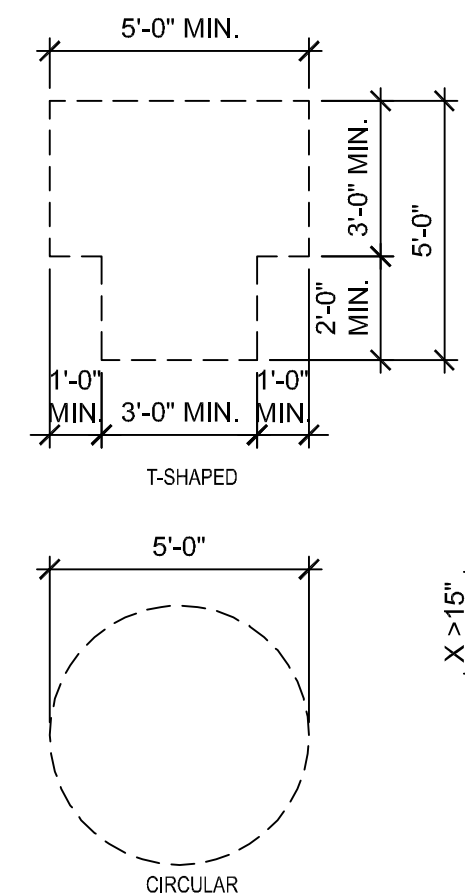
## 2 ACCESSIBLE MOUNTING HEIGHTS AT TOILET ACCESSORIES

SCALE: 1/4" = 1'-0"



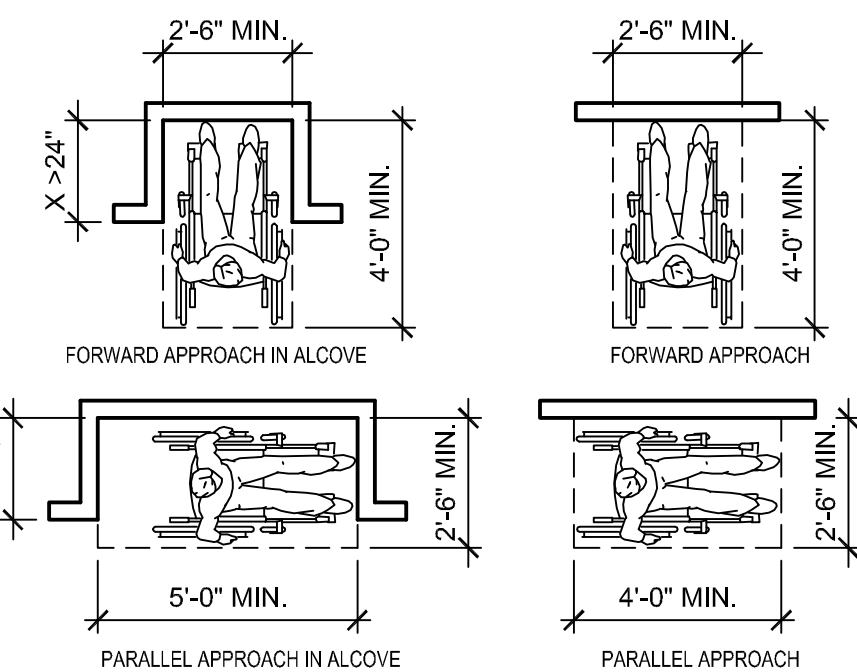
## 4 SIGNAGE

SCALE: 1/4" = 1'-0"



## 5 ACCESSIBLE FIRE EXTINGUISHER AND CABINET MOUNTING HEIGHT

SCALE: 1/4" = 1'-0"

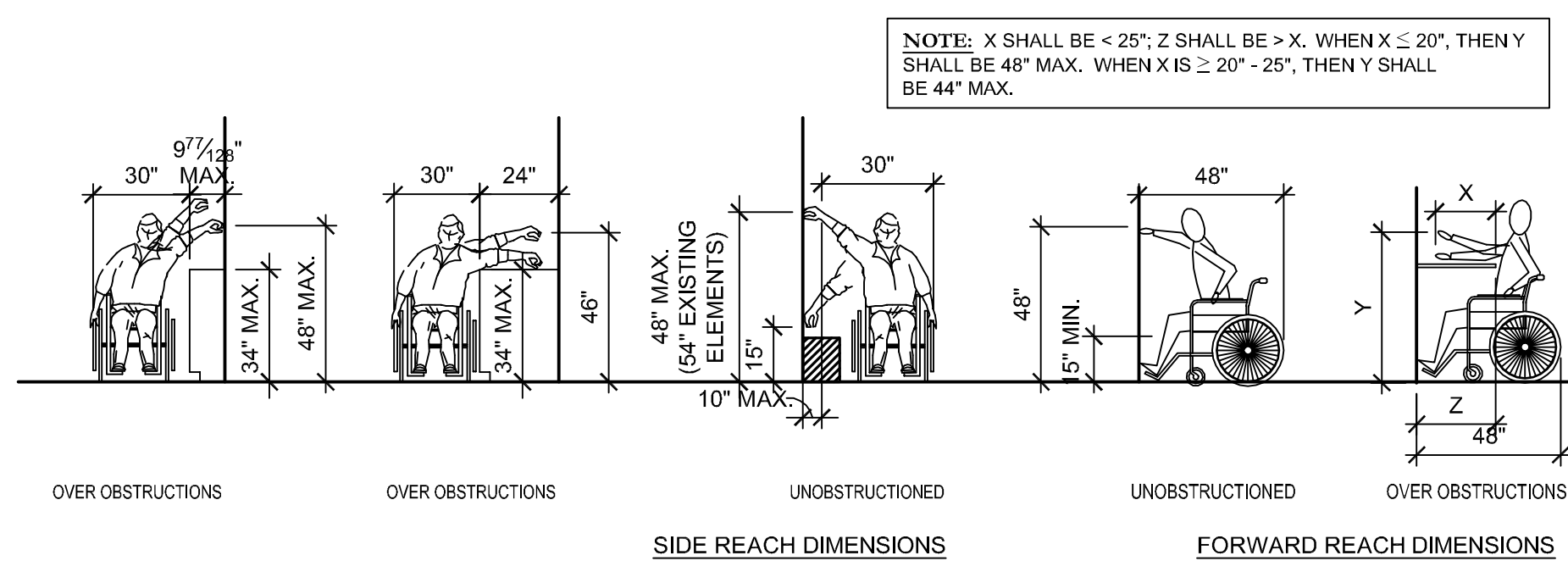


## 7 SIZE OF TURNING SPACE

SCALE: N.T.S.

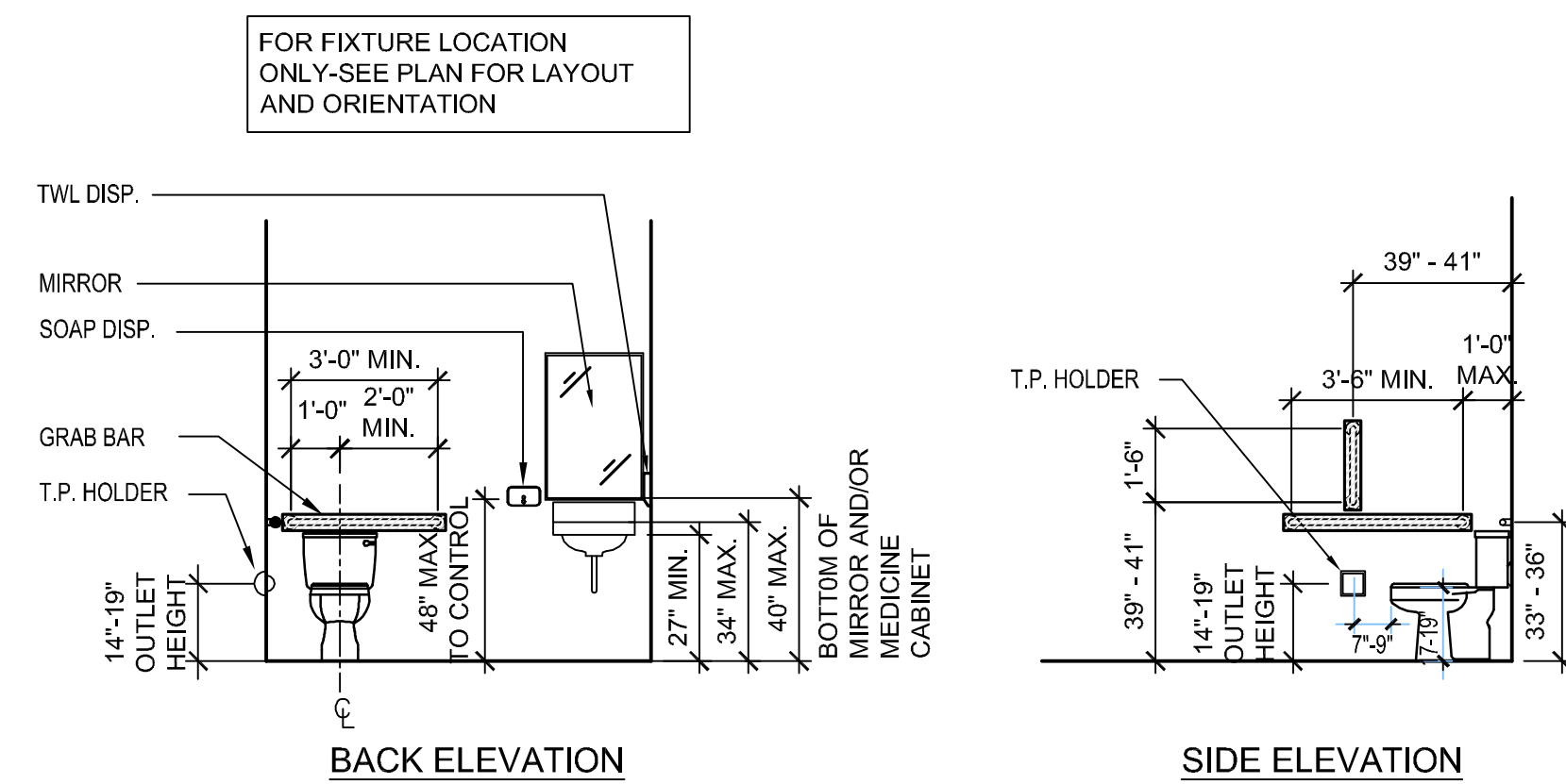
## 8 CLEAR FLOOR SPACE

SCALE: N.T.S.



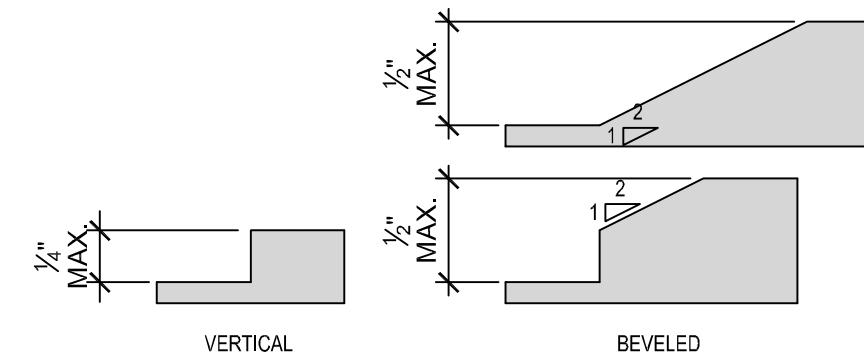
## 9 PROTRUDING OBJECTS

SCALE: N.T.S.



## 1 MINIMUM ACCESSIBLE TOILET ROOMS

SCALE: 1/4" = 1'-0"



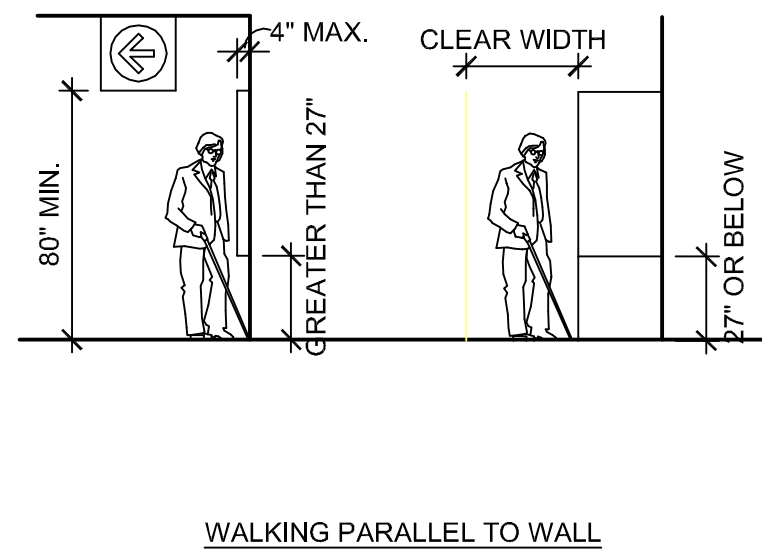
## 3 CHANGES IN LEVEL

SCALE: N.T.S.

## 6 ACCESSIBLE MOUNTING HEIGHTS AT CONTROLS AND OUTLETS

SCALE: 1/4" = 1'-0"

NOTE:  
1. A 30"x48" CLEAR FLOOR SPACE AREA SHALL BE PROVIDED PERPENDICULAR TO THE WALL FOR A FORWARD REACH TO CONTROLS AND ACCESSIBLE OUTLETS.  
2. ELECTRICAL OUTLETS ON WALLS OVER CABINETS MUST BE A MINIMUM 36" FROM A CORNER.

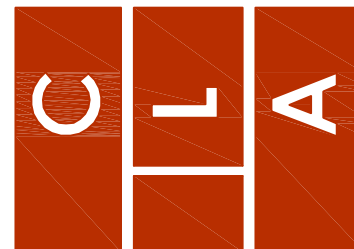


## GENERAL ACCESSIBILITY NOTES

- DRAWINGS ON THIS SHEET ARE INTERPRETATIONS BASED UPON:
  - AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2009) AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN MAY, 2004.
  - INTERNATIONAL BUILDING CODE 2003 AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN JANUARY 2004
  - AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AS PUBLISHED BY U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD)
- THIS SHEET IS NOT INCLUSIVE OF ALL ACCESSIBILITY REQUIREMENTS BY ANY JURISDICTION AND IS NOT INTENDED TO REPLACE OR ALTER ANY CODIFIED REQUIREMENTS BY ANY JURISDICTION.
- ACCESSIBILITY REQUIREMENTS SHALL BE MET IN ACCORDANCE WITH ANY AND ALL FEDERAL AND STATE, LOCAL AND OTHER MUNICIPAL JURISDICTIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY CONFLICTS AND DISCREPANCIES TO ARCHITECT.
- WALKWAYS WILL HAVE A SLOPE NO STEEPER THAN 1 : 20.
- FLAT SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1 : 48 AT WET LOCATIONS.
- PROVIDE NON-SLIP FLOOR SURFACES AT ALL WET LOCATIONS.
- OPERABLE AND DISPENSING HEIGHTS SHALL BE 15" MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR UNLESS OTHERWISE REQUIRED AS DEFINED BY LOCAL AUTHORITY.
- ALL FIXTURES AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MEET ACCESSIBILITY REQUIREMENTS.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- HANGING FIXTURES AND ACCESSORIES SHALL HAVE WALL BLOCKING TO MEET MINIMUM FORCE REQUIREMENTS.
- EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED. NO SHARP OR ABRASIVE SURFACES SHALL BE ALLOWED.
- PROVIDE SOAP AND HAND TOWEL DISPENSERS AT ALL HAND WASHING LOCATIONS.
- SEE DRAWINGS FOR ACTUAL FIXTURE AND ACCESSORY LOCATIONS.

10.23.19

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24 NW Chipman 'B', 816.875.4863



Construction Documents

**Symphony Farms Clubhouse**

Kill Creek Rd.  
Gardner, KS

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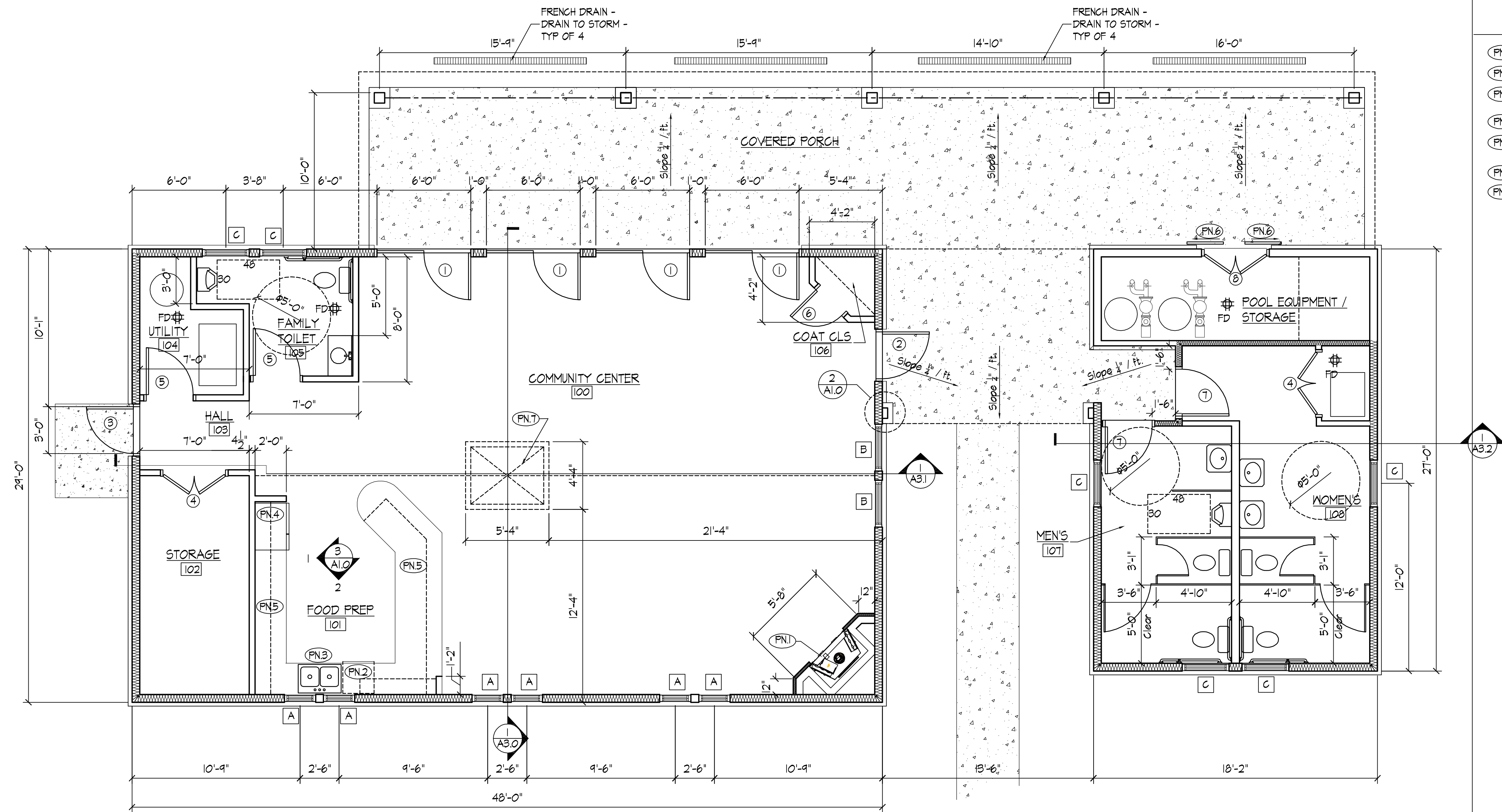
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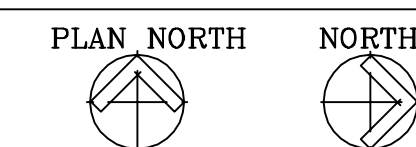
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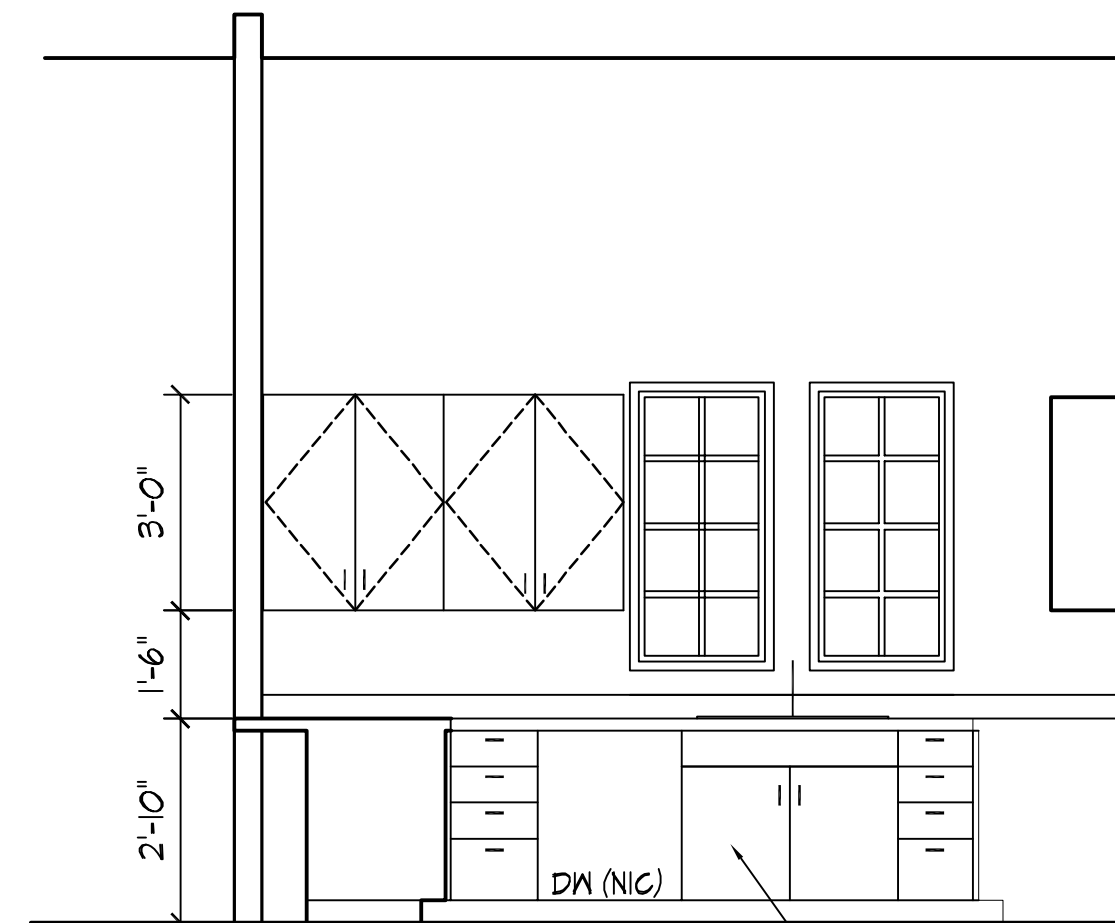
#### PLAN NOTES:

- FN.1 GAS FIREPLACE
- FN.2 DISHWASHER (NIC)
- FN.3 STAINLESS STEEL SINK W/ GARBAGE DISPOSAL
- FN.4 REFRIG. (NIC)
- FN.5 SOLID SURFACE COUNTERTOP  
COUNTER HEIGHT 34" AFF
- FN.6 SLIDING BARN DOORS
- FN.7 CUPOLA ABOVE



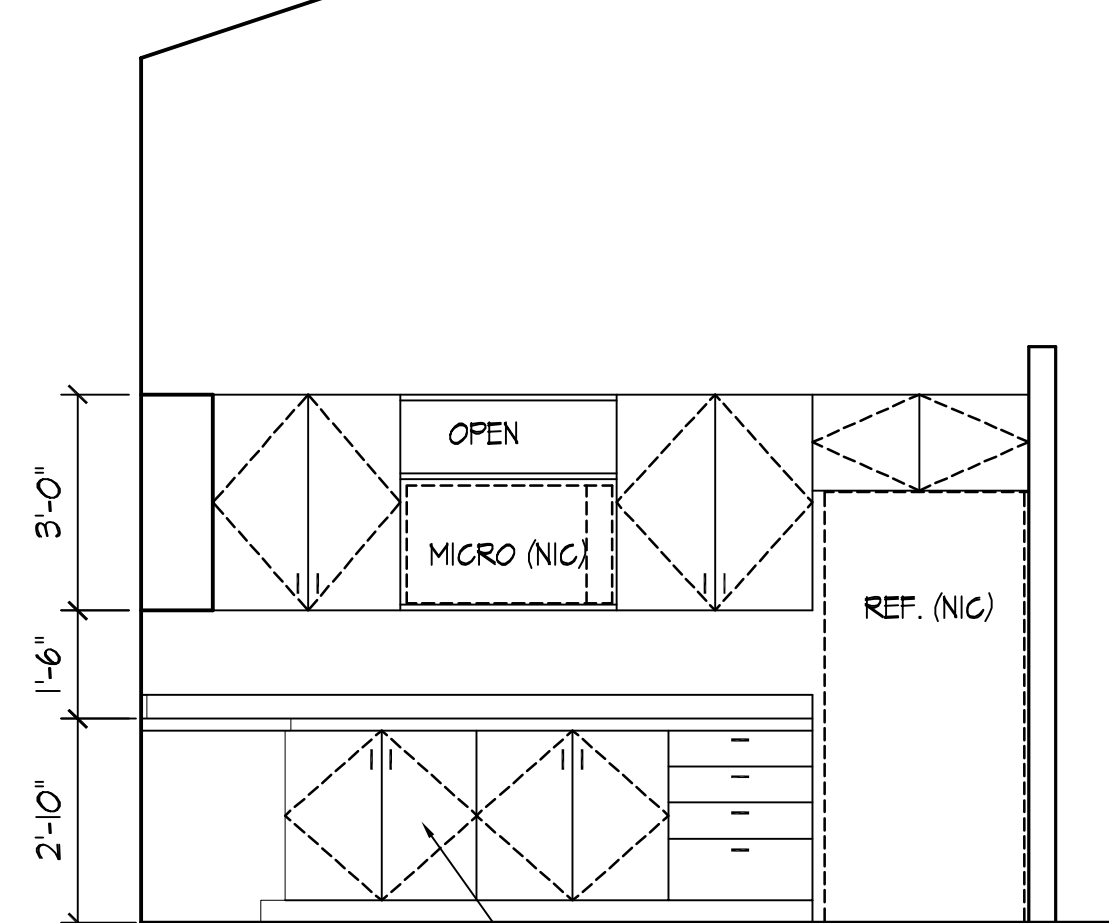
#### 1 Floor Plan

SCALE: 3/16"=1'



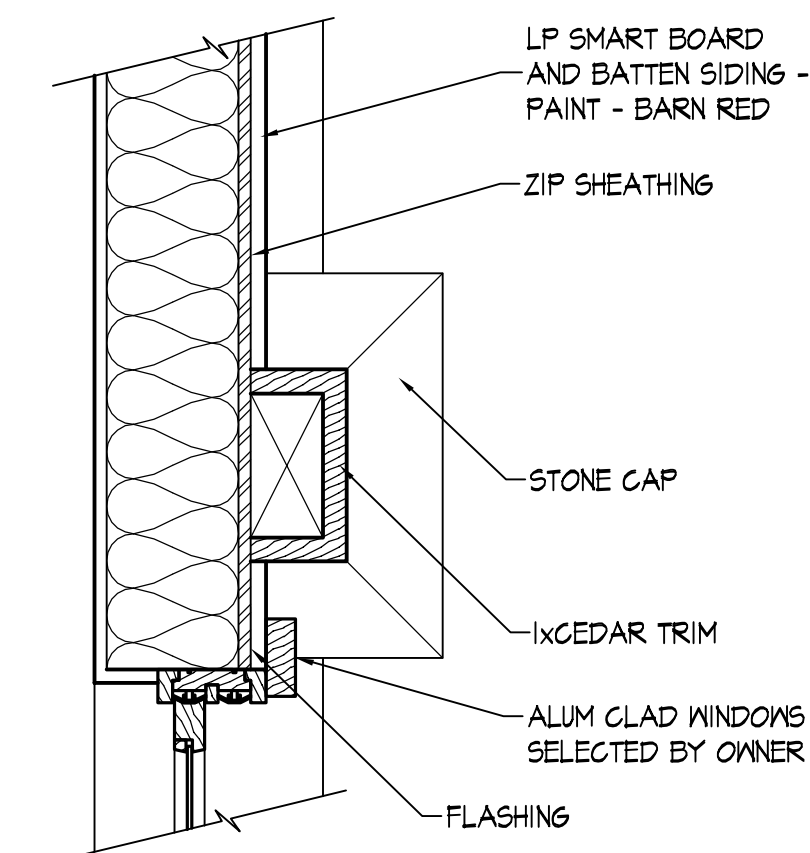
②

CABINETS  
SELECTED BY  
OWNER



①

CABINETS  
SELECTED BY  
OWNER



#### 2 Plan Detail

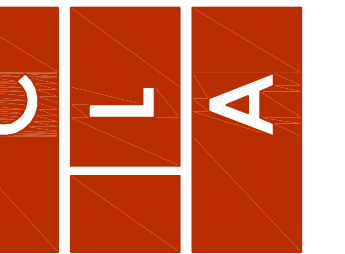
SCALE: 1 1/2"=1'

#### 3 Food Prep Elevations

SCALE: 3/8"=1'



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A1.0



NOTE: TILE UP 48" ON ALL WALLS

SEE SHEET AO.1 FOR ADA MOUNTING HEIGHTS

6"X16" TILE

TOILET ACCESSORIES

ALL WASHROOM ACCESSORIES INSTALL PER MANUFACTURERS RECOMENDATIONS AND PER ANSI A117.1-2017 AND LOCAL CODE.

- A GRAB BARS ————— B-5806x42, B-5806x36, B-5806x18
- B MIRROR ————— CHANNEL FRAMED MIRROR
- C TOILET TISSUE DISPENSER
- D SOLID SURFACE VANITY TOP
- E WALL HUNG LAVATORY - REF PLUMBING DWGS

1 Elevation Family Toilet 105

SCALE: 3/8"=1'

SEE SHEET AO.1 FOR ADA MOUNTING HEIGHTS

FLOOR MOUNTED OVERHEAD BRACED S.S. TOILET PARTITIONS

FRP WALL PANES UP TO CEILING

SEE SHEET AO.1 FOR ADA MOUNTING HEIGHTS

FRP WALL PANES UP TO CEILING

2 Men's Toilet 107

SCALE: 3/8"=1'

SEE SHEET AO.1 FOR ADA MOUNTING HEIGHTS

FLOOR MOUNTED OVERHEAD BRACED S.S. TOILET PARTITIONS

FRP WALL PANES UP TO CEILING

4 Women's Toilet 108

SCALE: 3/8"=1'

3 Men's Toilet 107 / Women's 108

SCALE: 3/8"=1'

ADA COMPLIANT FAUCET.

SOLID SURFACE COUNTERTOP ON 3/4" PLYWD ON T.S. SUPPORTS COLOR SELECTED BY OWNER

FLAS. LAM. SUPPORT

2'-0" AFF.

2'-0" MINIMUM

5 Lavatory Detail - Family Toilet 105

SCALE: 3/8"=1'

ROOM FINISH SCHEDULE											
ROOM		WALLS				FLOOR	BASE	CEILING	CEILING HEIGHT	SOUND INSULATION	REMARKS
NO.	NAME										
100	COMMUNITY CENTER	P-1	P-1	P-1	P-1	SC-1	WD	GYP. BD	-		
101	FOOD PREP	-	P-1	-	P-1	SC-1	WD	GYP. BD	-		
102	STORAGE	P-1	P-1	P-1	P-1	SC-2	WD	GYP. BD	-		
103	HALL	P-1	P-1	-	P-1	SC-1	WD	GYP. BD	-		
104	UTILITY	P-1	P-1	P-1	P-1	SC-2	-	GYP. BD	-	3 1/2" BATT	
105	FAMILY TOILET	PT-1	PT-1	PT-1	PT-1	PT-1	PT	GYP. BD	-	3 1/2" BATT	
106	COAT CLS	P-1	P-1	P-1	P-1	SC-1	WD	GYP. BD	-		
107	MEN'S										
108	WOMEN'S										

WALLS

P-1 GYPSUM BOAD (1) COAT PRIMER  
(2) COATS SATIN

PT-1 18"X6" PORCELAIN TILE - UP 48" AFF  
GYPSUM BOAD (1) COAT PRIMER  
(2) COATS SATIN ABV TILE.

BASE  
WD 6" WOOD BASE - PAINT  
PT PORCELAIN TILE

CEILING

ACT-1 2X2 ACOUSTICAL CEILING - FISSURED; TEGULAR EDGE  
GYP. BD. PAINT

FLOORING  
PT-1 16"X16" PORCELAIN TILE  
SC-1 STAINED AND SEALED CONCRETE  
SC-2 SEALED CONCRETE

DOOR SCHEDULE

DOORS ARE NOMINAL DIMENSIONS VERIFY W/ MANUF. R.O. SIZE ALL DOOR LATCHES TO BE LEVER STYLE ADA COMPLIANT

TEMP. GLASS, HOLLOW MTL. SOLID CORE DOOR INACTIVE LEAF FLUSH BOLT - PREHUNG

TEMP. GLASS, INSUL. SOLID CORE WOOD DOOR - PREHUNG

INSUL. HOLLOW METAL DOOR - PREHUNG

PR. HOLLOW CORE INT. DOOR W/ MAGNETIC LATCH - PREHUNG

PR. HOLLOW CORE INT. DOOR - PREHUNG

PR. HOLLOW CORE INT. DOOR - PREHUNG

INSUL. HOLLOW METAL DOOR - PREHUNG W/ CLOSURE

HOLLOW MTL. SOLID CORE DOOR INACTIVE LEAF FLUSH BOLT

WINDOW SCHEDULE

WINDOWS ARE NOMINAL DIMENSIONS VERIFY W/ MANUF. R.O. SIZE ALL DOOR LATCHES TO BE LEVER STYLE ADA COMPLIANT

CASEMENT

DOUBLE HUNG

FIX WINDOW FROSTED GLASS

FIX WINDOW

FIX WINDOW (CUPOLA)

Wainscot Detail

Craig Luebert  
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24 NW Chipman B'. 816.875.4863

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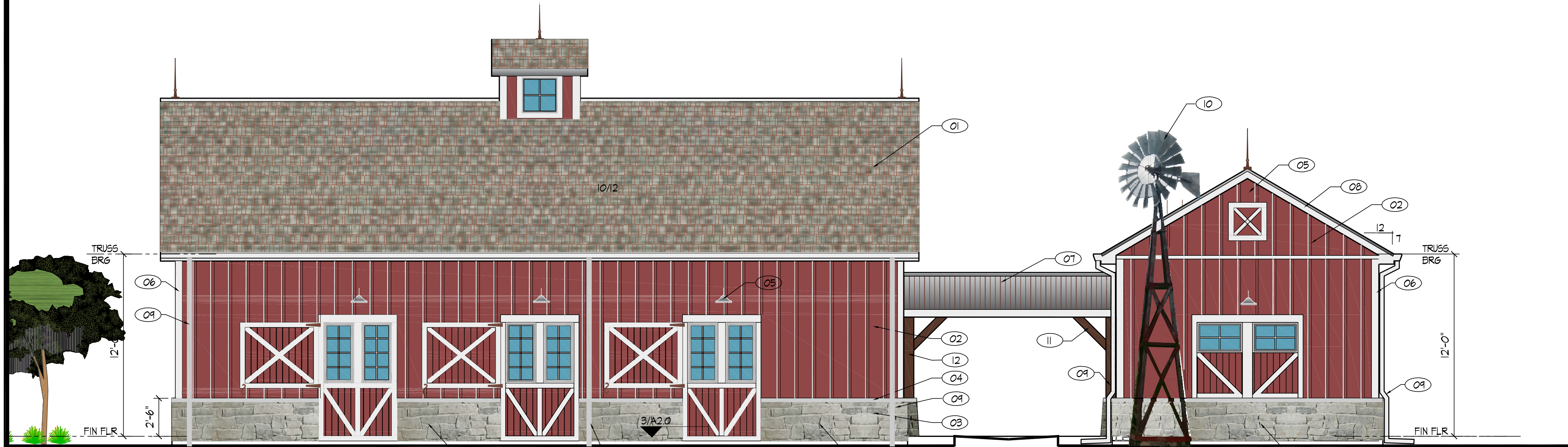
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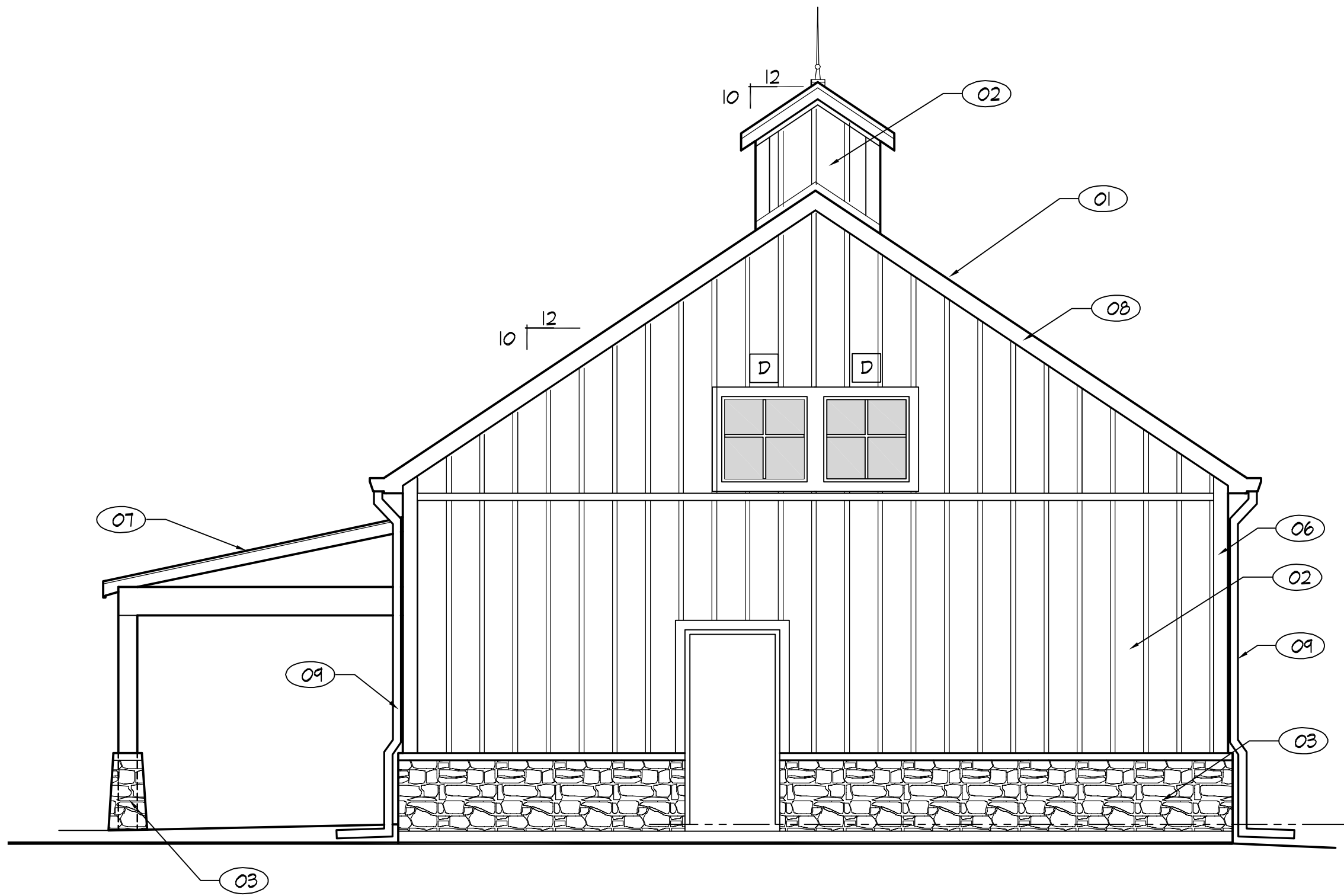
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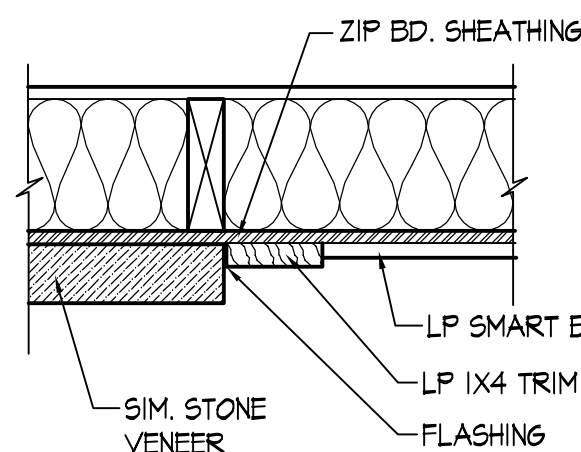




**1** East Elevation  
SCALE: 1/4"=1'



**2** South Elevation  
SCALE: 1/4"=1'



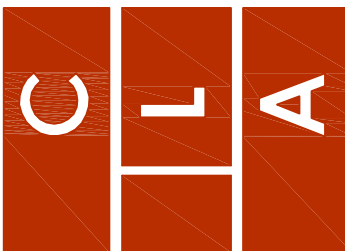
**3** Detail  
SCALE: 1 1/2"

MATERIAL NOTES:

- 01 ASPHALT SHINGLES 'CERTAIN TEED' - LANDMARK AR SERIES
- 02 LP SMART BOARD AND BATTEN SIDING - PAINT - BARN RED
- 03 SIMULATED STONE VENEER - GREY
- 04 3" WATER TABLE SILL COURSE
- 05 GOOSENECK GALV. LIGHT FIXTURE
- 06 6" LP SMART TRIM - TYP AT CORNERS
- 07 CORRUGATED MTL. ROOFING PANELS - 12' L.
- 08 5/4 LP FASCIA
- 09 PREFIN. MTL. DOWNSPOUT
- 10 WINDMILL BY SAND CREEK - CONTACT ARCHITECT FOR INFORMATION
- 11 6X6 CEDAR ANGLED BRACKET
- 12 6X6 TREATE POST SUPPORT TRIMMED OUT IN CEDAR - TYP.



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Construction Documents  
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DATE ISSUED:  
10.23.19

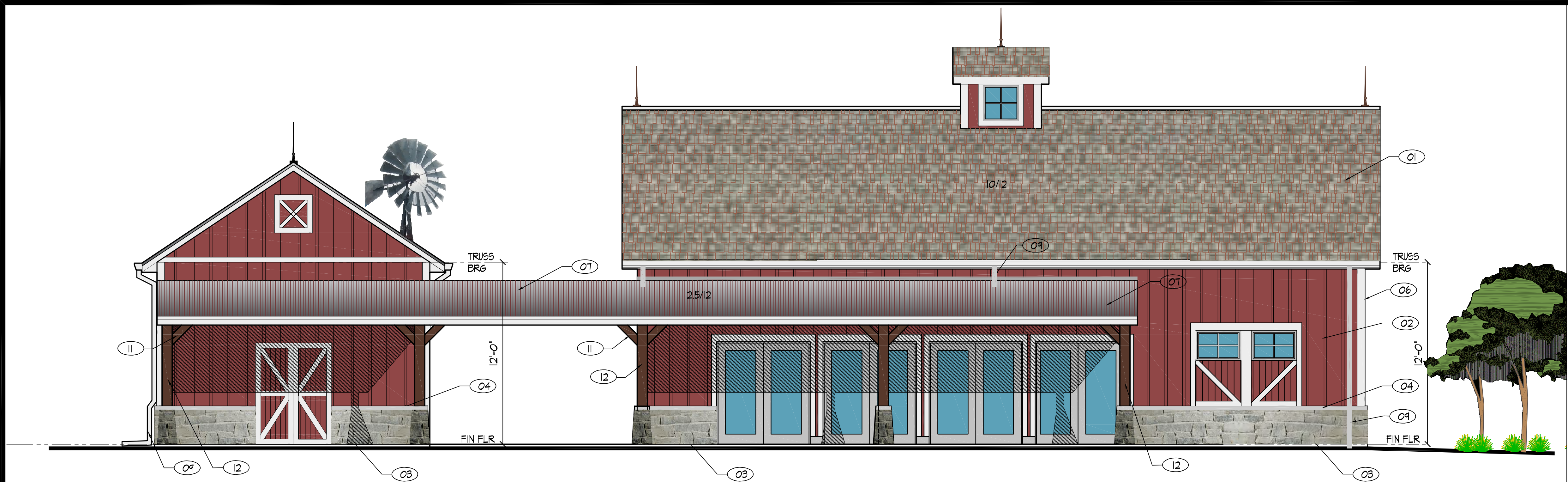
REVISIONS:

ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER

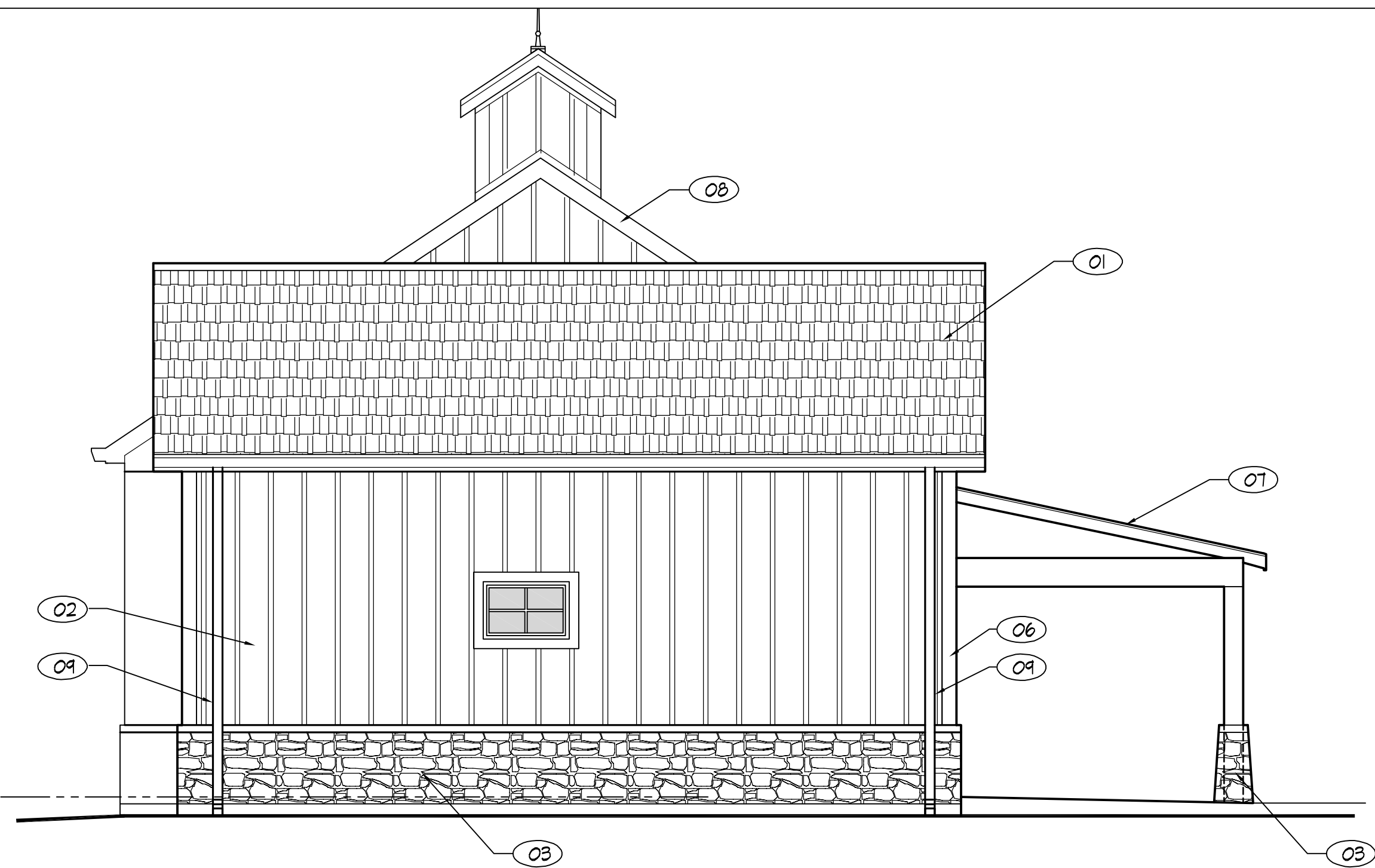
**A2.0**





1 West Elevation

SCALE: 1/4"=1'



2 North Elevation

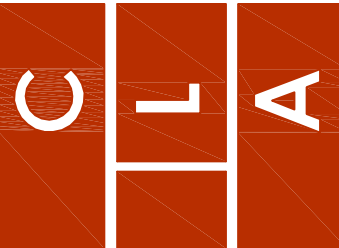
SCALE: 1/4"=1'

MATERIAL NOTES:

- 01 ASPHALT SHINGLES 'CERTAIN TEED' - LANDMARK AR SERIES
- 02 LP SMART BOARD AND BATTEN SIDING - PAINT - BARN RED
- 03 SIMULATED STONE VENEER - GREY
- 04 3" WATER TABLE SILL COURSE
- 05 GOOSENECK GALV. LIGHT FIXTURE
- 06 6" LP SMART TRIM - TYP AT CORNERS
- 07 CORRUGATED MTL. ROOFING PANELS - 12' L.
- 08 5/4 LP FASCIA
- 09 PREFIN. MTL. DOWNSPOUT
- 10 WINDMILL BY SAND CREEK - CONTACT ARCHITECT FOR INFORMATION
- 11 6X6 CEDAR ANGLED BRACKET
- 12 6X6 TREATE POST SUPPORT TRIMMED OUT IN CEDAR - TYP.



Craig Luebbert  
Architecture  
24 NW Chipman 'B' 816.875.4863



Construction Documents

Symphony Farms Clubhouse

Kill Creek Rd.  
Gardner, KS

DATE ISSUED:  
10.23.19

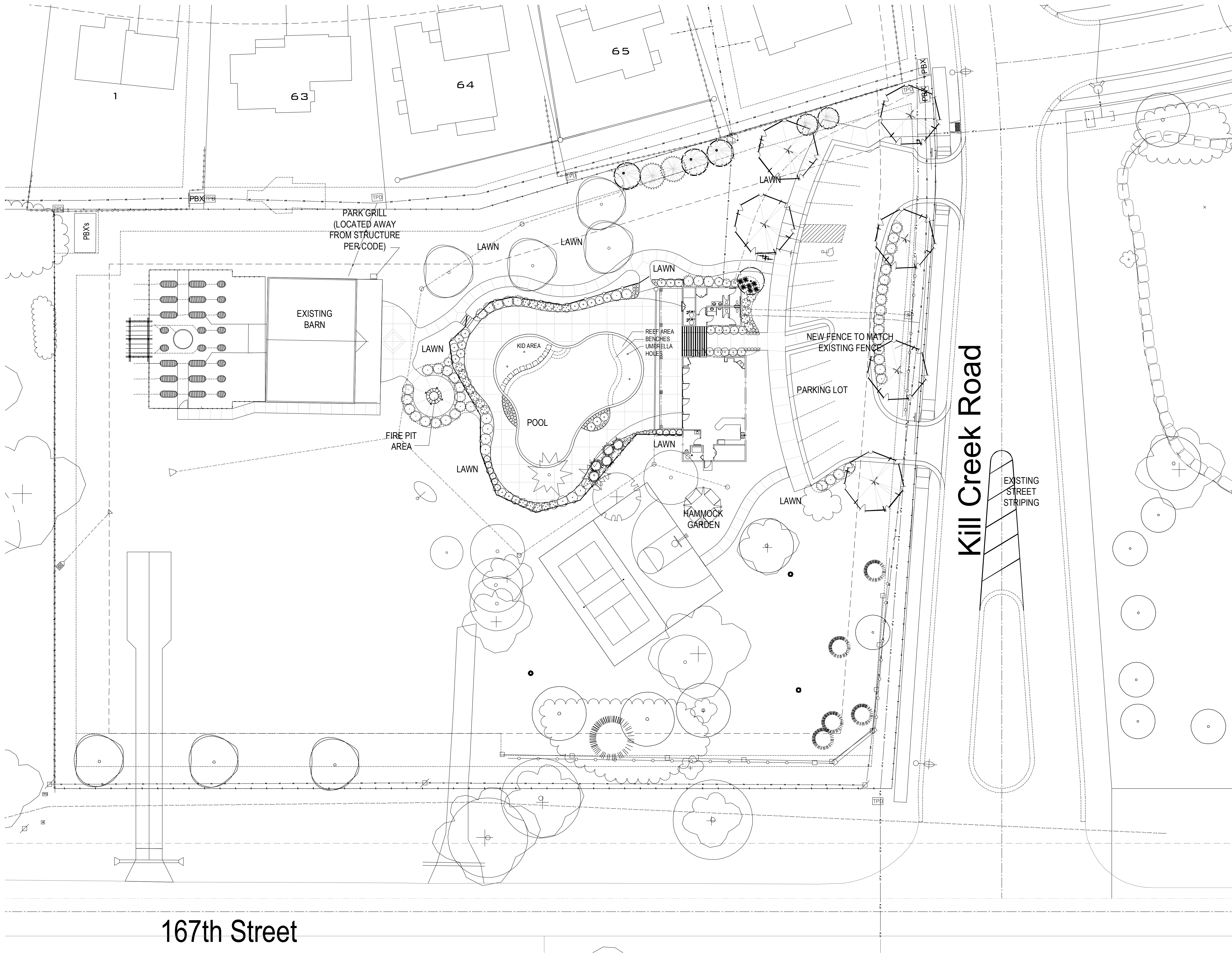
REVISIONS:

ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER

A2.1





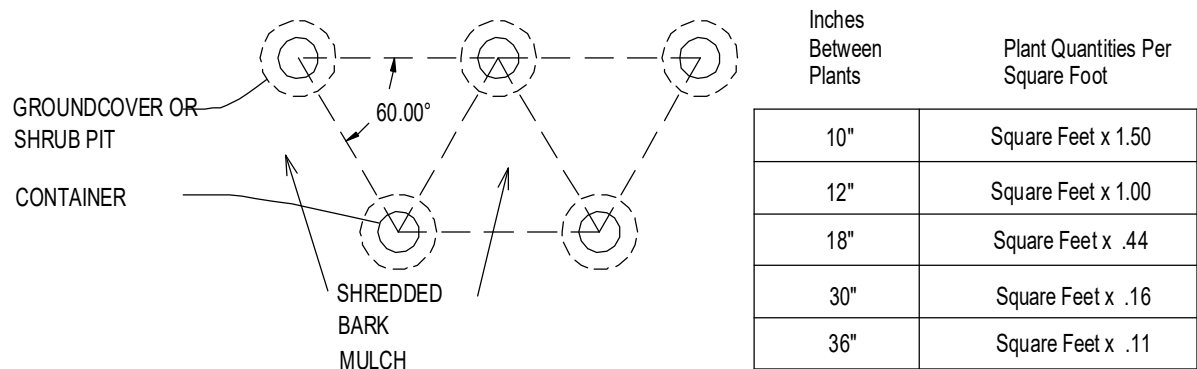
167th Street

Kill Creek Road



1 OVERALL SITE LANDSCAPE PLAN

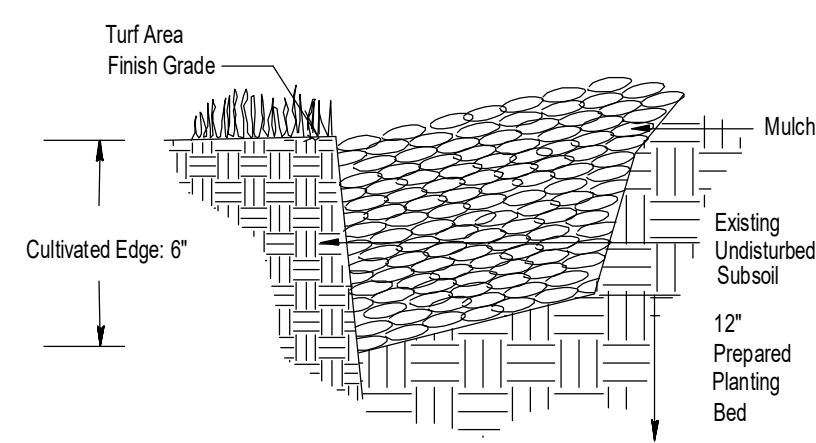
SCALE: 1"=20'-0"



NOTES: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.  
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL  
ADJACENT AS NOTED ON PLANS.

2 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS

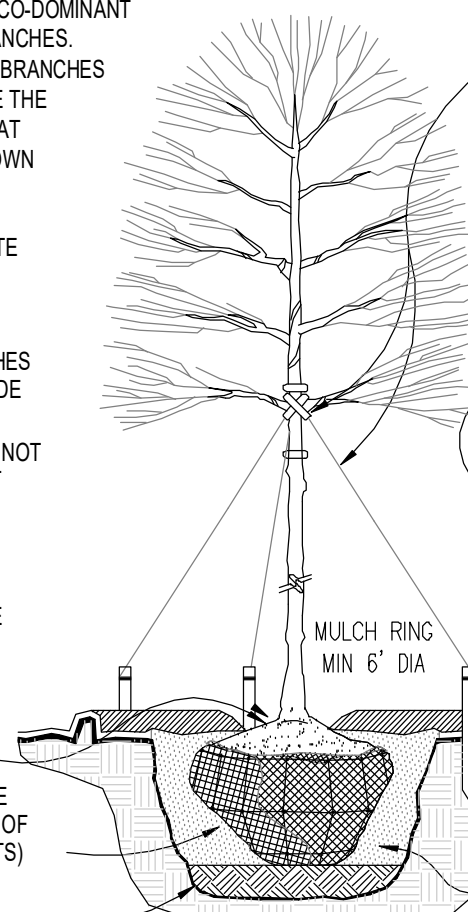


3 CULTIVATED EDGE DETAIL

SCALE: NTS

TREE PLANTING NOTES:  
1) WIRE/CABLE SHALL BE GALV. 12-GAUGE  
2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH  
3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE  
4) APPLY 4" THK WOOD MULCH, DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK  
5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL  
6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)  
7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

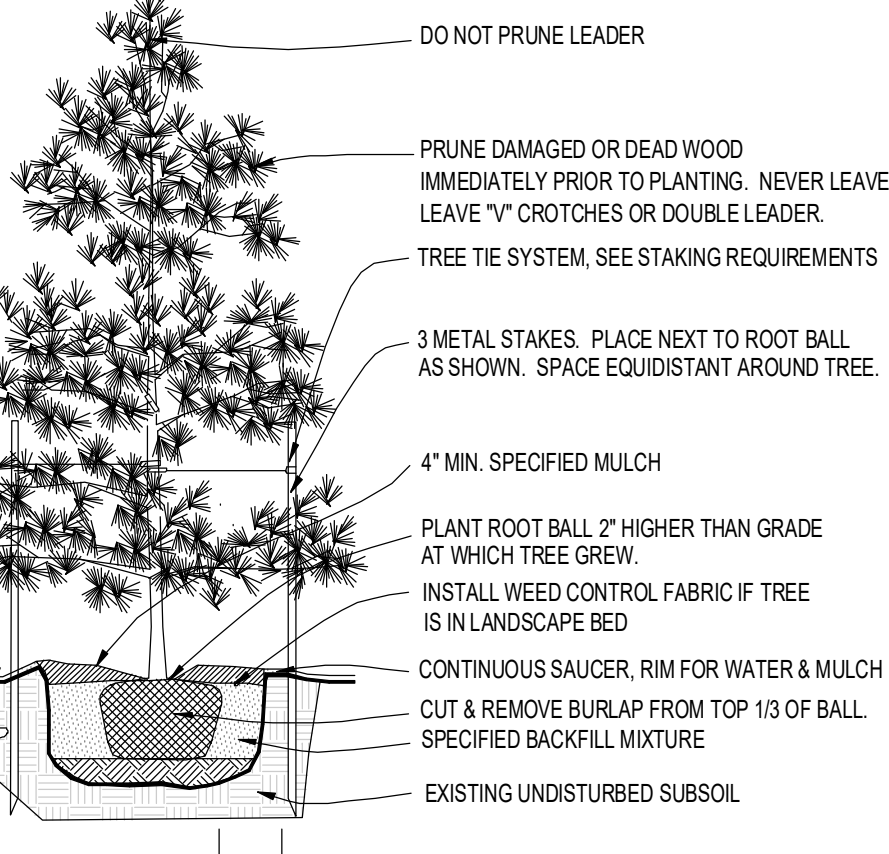
STAKING REQUIREMENTS:  
1) WIRE/CABLE SHALL BE GALV. 12-GAUGE  
2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH  
3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE  
4) APPLY 4" THK WOOD MULCH, DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK  
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6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)  
7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP



4 PLANTING INSTALLATION DETAILS

SCALE: NTS

PERENNIAL PLANTING NOTES:  
1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED, DO NOT COVER PLANTS  
2) THOROUGHLY MIX PEAT IN TOP 2-4" OF SOIL  
3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"  
4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"  
SHRUB PLANTING NOTES:  
1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER  
2) PRUNE THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE  
INITIAL WATERING:  
WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL MORE IS ABSORBED



Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
  - a. Creeping groundcover shall be a minimum of 6" from paving edge.
  - b. All trees shall be a minimum of 3' from paving edge.
  - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
  - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City
6. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
7. Any disturbed area not landscaped shall be sodded.

Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Site and Landscape Calculations

LARGE EXISTING TREES ARE BEING PRESERVED ON THIS SITE. THEY HAVE BEEN LABELED ON THE PLAN. THESE TREES WILL COUNT TOWARDS THE REQUIREMENTS BELOW.

STREET TREE REQUIREMENTS: COLLECTOR - STANDARD (C-S)  
Street trees are required at a rate of 40'-60' on center.  
Requirement Met.

PARK STANDARD:  
1 tree for every 40' of frontage.  
Requirement Met.

LANDSCAPE PARKING AREA REQUIREMENTS:  
1 large or medium tree for each 40 spaces.  
14 Spaces provided. 0 Trees required. 2 Trees provided.  
Requirement Met.  
1 shrub for every 5 linear feet of perimeter buffer along frontage/street side.  
100 LF of Perimeter buffer. 20 Shrubs required. 20 Shrubs provided.  
Requirement Met.  
1 large or medium tree for every 50 linear feet of perimeter buffer.  
145 LF of Perimeter buffer. 3 Trees required. 3 Trees provided.  
Requirement Met.

LOT AREA REQUIREMENTS:  
1 tree per 10,000 sf of area and 1 shrub per 5,000 sf of area are required.  
109,296 sf site total.  
11 Trees required. 22 shrubs required.  
Requirement Met.

TREE DIVERSITY REQUIREMENTS:  
5-10 Trees required = At least 2 genus. No more than 50% of any one species.  
Requirement Met.

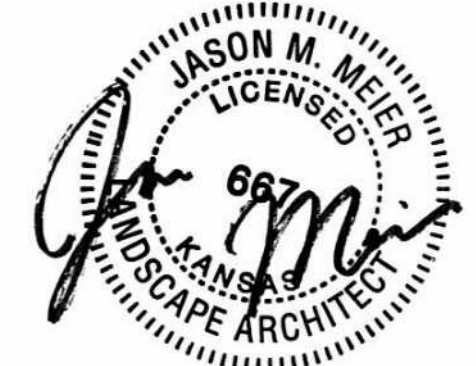
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
6	6	Quercus rubra	Northern Red Oak	2"	6' min. clear, ground to canopy		
1	1	Platanus x acerifolia	London Plane Tree	2"	6' min. clear, ground to canopy		
7	7	Acer x truncatum 'Warrenred'	Pacific Sunset Maple	2"	6' min. clear, ground to canopy		
MIDSTORY TREES							
2	2	Juniperus chinensis 'keteleeri'	Keteleeri Juniper	6" ht.	symmetrical pyramidal form		
2	2	Juniper chinensis	Eastern Red Cedar	6" ht.	symmetrical pyramidal form		
3	3	Picea abies	Norway Spruce	6" ht.	symmetrical pyramidal form		
ORNAMENTAL TREES							
1	1	Cercis canadensis	Eastern Redbud	1.5"			
DECIDUOUS SHRUBS/GRASSES							
80	80	Liriodie muscarif 'variegated'	Variegated Liriodie	1 gal.	Plant @ 18" O.C.		
10	10	Spiraea x bumalda 'Doubleflame'	Goldflame spiraea	3 gal.	Plant @ 3' O.C.		
23	23	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangeas	3 gal.	Plant @ 4' O.C.		
9	9	Syringa X 'Pendul'	Blooming Purple Lilac	5 gal.	Plant @ 5' O.C.		
EVERGREEN SHRUBS							
43	43	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.	Plant @ 4' O.C.		
37	37	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.	Plant @ 4' O.C.		
5	5	Juniperus chinensis 'Spartan'	Spartan Juniper	5" ht.	Symmetrical pyramidal form		
GROUNDCOVERS							
7	7	Juniperus horizontalis 'Wilson'	Blue Rug Juniper	1 gal.	Plant @ 24" O.C.		
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							

MEIER

LANDSCAPE  
ARCHITECTURE

15245 Metcalf Ave.  
Overland Park, KS 66223  
913.787.2817



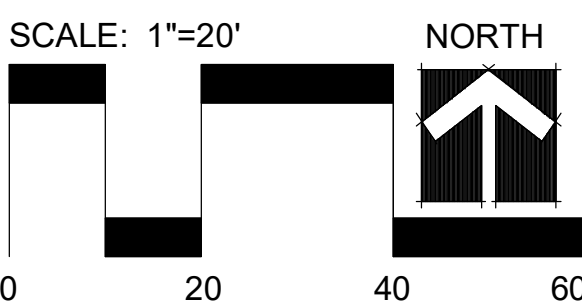
CLIENT

Symphony Farms  
167th and Kill Creek  
Road  
Gardner, KS

PROJECT

Amenity Area  
Symphony Farms  
167th and Kill Creek  
Road  
Gardner, KS

SCALE: 1"=20'



Date: 10.24.19  
Project #: 533  
Landscape Plan

L1





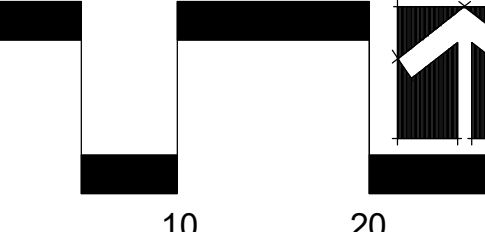
CLIENT

Symphony Farms  
167th and Kill Creek  
Road  
Gardner, KS

PROJECT

Amenity Area  
Symphony Farms  
167th and Kill Creek  
Road  
Gardner, KS

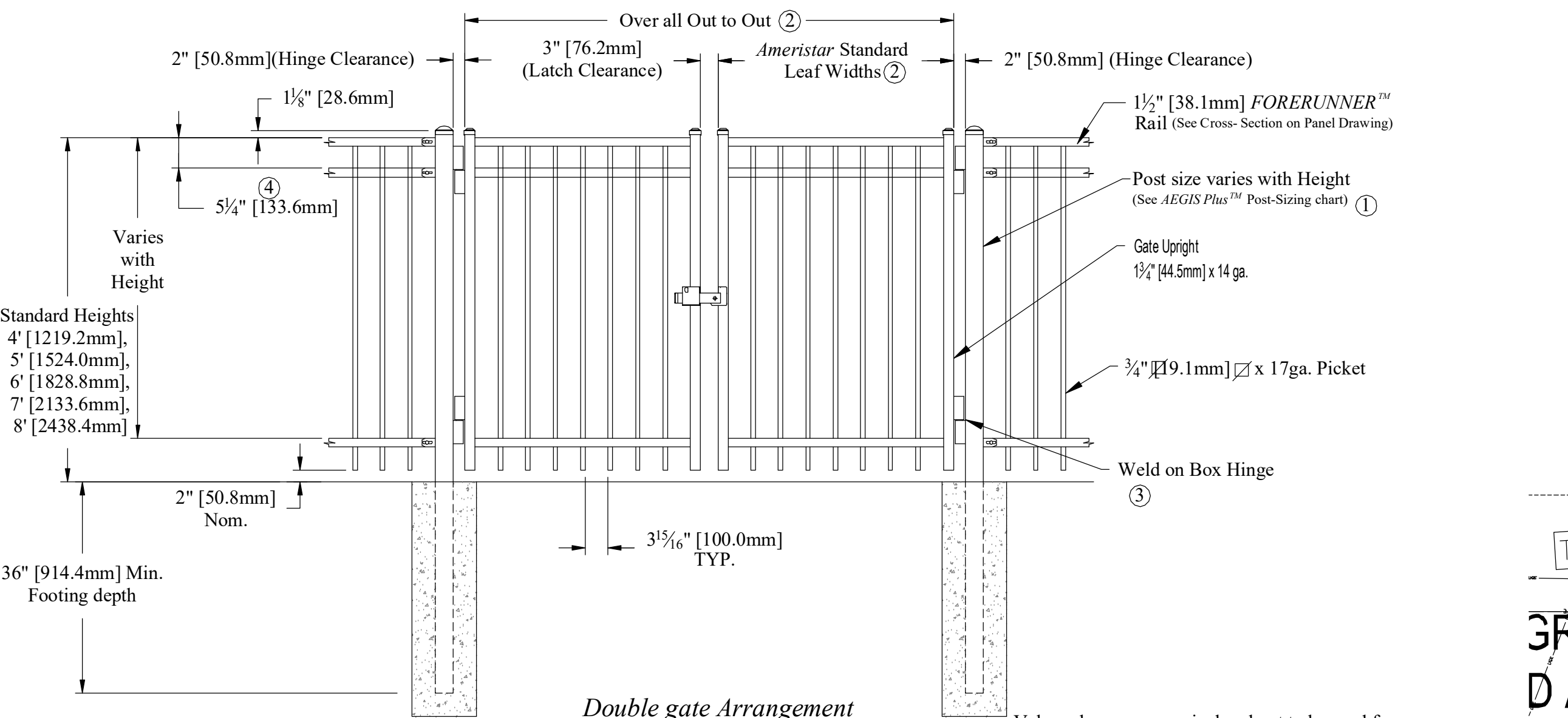
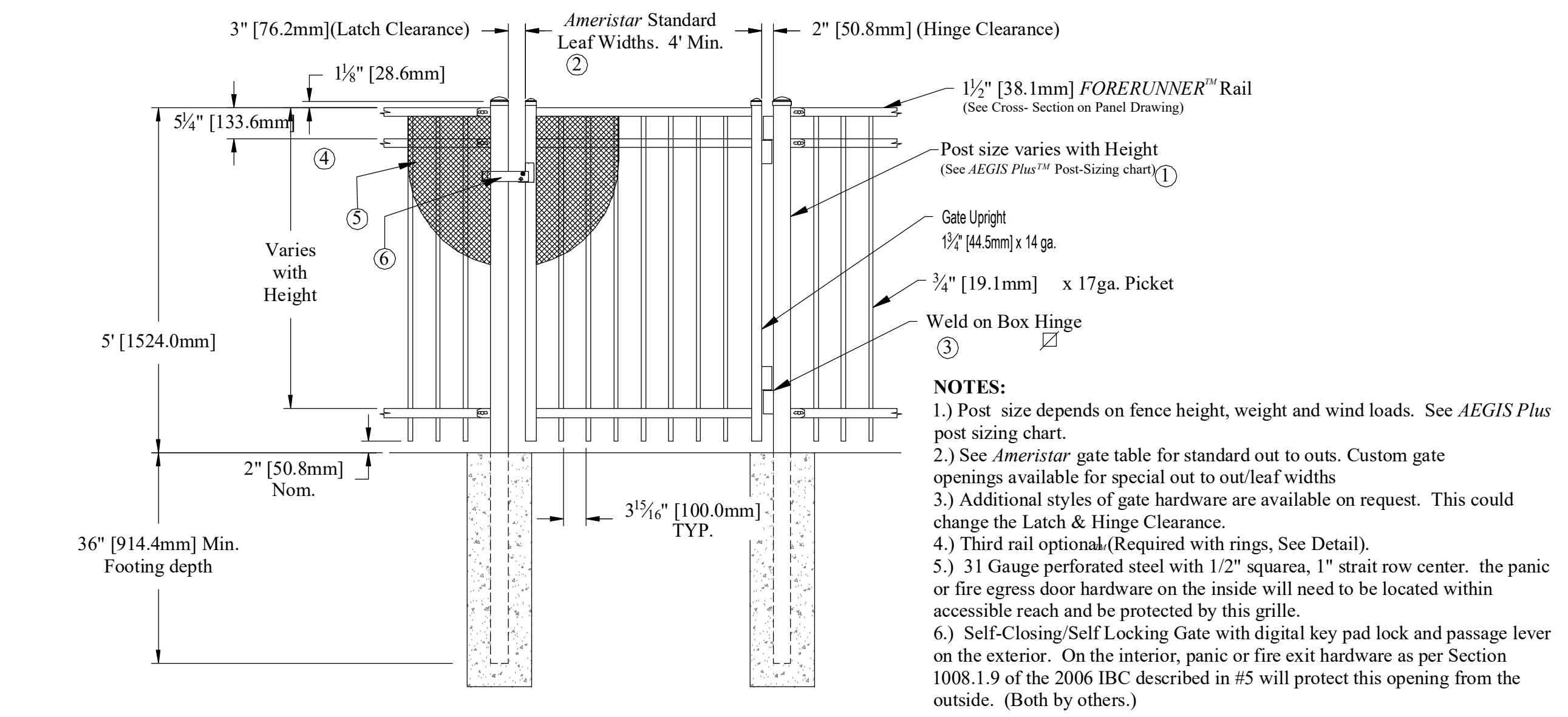
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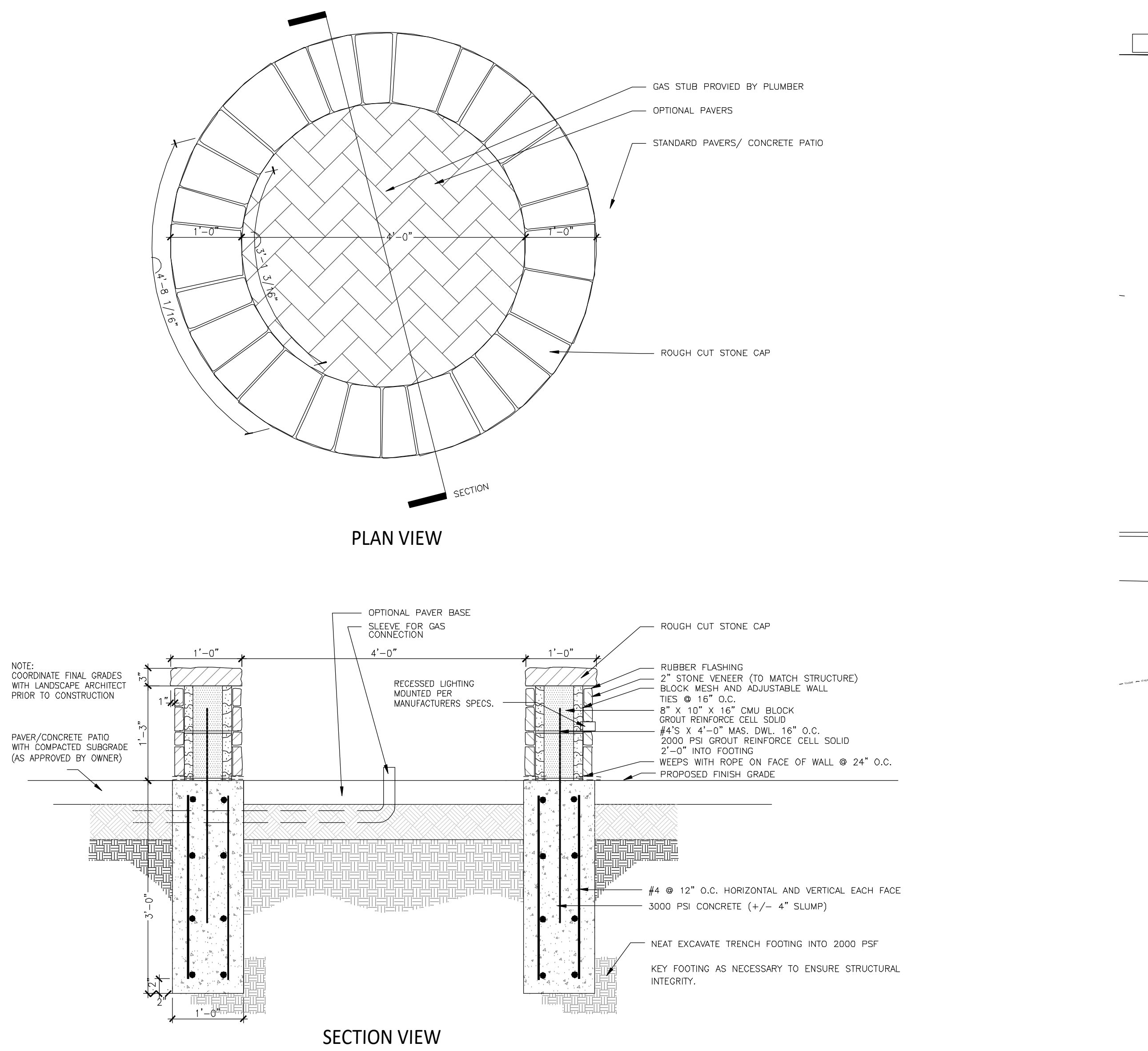
Date: 10.24.19  
Project #: 533  
Landscape Plan

Landscape Schedule

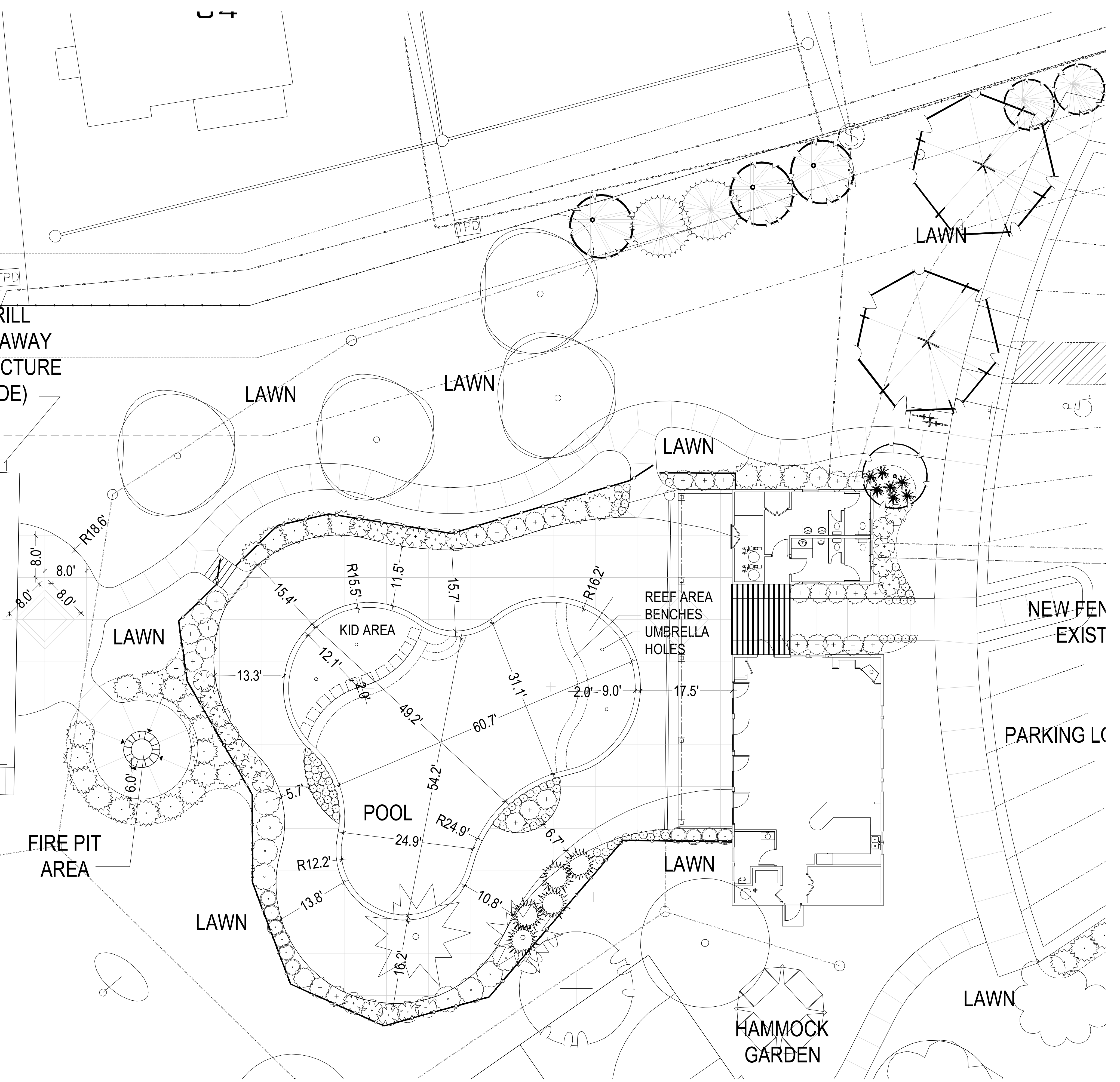
Symbol	Qty	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	6	Quercus rubra	Northern Red Oak		2"	6"	6' min. clear., ground to canopy
	1	Platanus x acerifolia	London Plane Tree		2"	6"	6' min. clear., ground to canopy
	7	Acer x truncatum 'Warrenii'	Pacific Sunset Maple		2"	6"	6' min. clear., ground to canopy
EVERGREEN TREES							
	2	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		6"	18"	symmetrical pyramidal form
	2	Juniper chinensis	Eastern Red Cedar		6"	18"	symmetrical pyramidal form
	3	Picea abies	Norway Spruce		6"	18"	symmetrical pyramidal form
ORNAMENTAL TREES							
	1	Cercis canadensis	Eastern Redbud		1.5"		
DECIDUOUS SHRUBS/GRASSES							
	80	Liriope muscarifolia 'Variegata'	Variegated Liriope		1 gal.		Plant @ 18" O.C.
	10	Spiraea x bumalda 'Goldflame'	Goldflame spiraea		3 gal.		Plant @ 3' O.C.
	23	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea		3 gal.		Plant @ 4' O.C.
	9	Syringa X 'Penda'	Blooming Purple Lilac		5 gal.		Plant @ 5' O.C.
EVERGREEN SHRUBS							
	43	Juniperus chinensis 'Sea Green'	Sea Green Juniper		3 gal.		Plant @ 4' O.C.
	37	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper		3 gal.		Plant @ 4' O.C.
	5	Juniperus chinensis 'Spartan'	Spartan Juniper		5' ht.		Symmetrical pyramidal form
GROUNDCOVERS							
	7	Juniperus horizontalis 'Wittichii'	Blue Rug Juniper		1 gal.		Plant @ 24" O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							



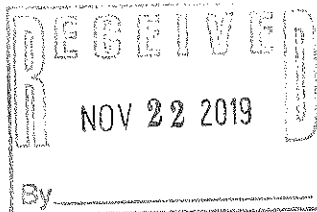
1 FENCE AND GATE DETAILS (TYP.)  
SCALE: NTS



2 FIRE PIT DETAILS  
SCALE: NTS



3 POOL AREA ENLARGEMENT PLAN  
SCALE: 1"=10'-0"

**SITE PLAN AND DESIGN REVIEW  
FINAL DEVELOPMENT PLAN  
APPLICATION**Pre-App Date 11-22-19  
Fee \$380 PD  
File No. FDP-19-04**OWNER INFORMATION**Name(s) Lifestyles Building and Design, LLC  
Contact Jim Humbert  
Address 11237 Nall Avenue, Suite 100  
City Leawood State KS Zip 66211  
Phone 913-238-607 Email \_\_\_\_\_**APPLICANT/AGENT INFORMATION**Name(s) Anderson Engineering, Inc.  
Contact Jim Long  
Address 941 W. 141st Terrace, Suite A  
City Kansas City State MO Zip 64145  
Phone 816-777-0400 Email JLong@AndersonEngineeringInc.com**SITE INFORMATION**Property Address/Location: NW Corner Kill Creek Road and 167th Street  
Legal Description (Attach If Necessary) Attached  
Number of Existing Lots 1 Number of Proposed Lots 1  
Total Site Area 2.51 ac. Present Zoning RP-1  
Proposed Use Amenities for Subdivision Present Land Use Vacant other than a barn  
Proposed Street Design Type(s) & Class N/A  
Proposed Type(s) Open & Civic Space Clubhouse - Open/Civic Space  
Proposed Frontage Type(s) \_\_\_\_\_  
Proposed Building Types(s) \_\_\_\_\_**SIGNATURE**I/We, the undersigned am/are the (owner(s)), (duly authorized agent), (Circle One) of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for a site plan and design review or final development plan as indicated above.Signature(s):  \_\_\_\_\_ Date 11-21-19  
\_\_\_\_\_ Date \_\_\_\_\_

## SITE PLAN AND DESIGN REVIEW, AND FINAL DEVELOPMENT PLAN APPLICATION CHECKLIST

### APPLICATION SUBMITTAL REQUIREMENTS

- |     | Yes                                 | No                       |   |
|-----|-------------------------------------|--------------------------|---|
|     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. <b>Complete application packet</b>   |
|     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. <b>Application fee</b>   |
|     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. <b>10 complete sets of full sized plans printed including color elevations, folded</b>   |
|     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. <b>Digital copies (PDF) of the completed application, plans, and legal description</b>   |
| N/A | <input type="checkbox"/>            | <input type="checkbox"/> | 5. <b>Copy of all covenants and restrictions applicable to the development, if applicable.</b>  |
|     | <input type="checkbox"/>            | <input type="checkbox"/> | 6. <b>Sign posting affidavit.</b>   |
|     | <input type="checkbox"/>            | <input type="checkbox"/> | 7. <b>Evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency or document dedicating the facilities to the city.</b> |
| N/A | <input type="checkbox"/>            | <input type="checkbox"/> | 8. <b>Deeds of dedication for all rights-of-way or easements</b> required as a result of preliminary development plan approval if conveyance thereof is not to be made by plat or by the filing of the final development plan.                    |
|     | <input type="checkbox"/>            | <input type="checkbox"/> | 9. <b>Evidence of satisfaction of any conditions of the preliminary development plan approval</b> which were conditions precedent to consideration of the final development plan.   |
|     | <input type="checkbox"/>            | <input type="checkbox"/> | 10. <b>Final Stormwater Management Plan</b> (2 printed and 1 digital copy)  |
| N/A | <input type="checkbox"/>            | <input type="checkbox"/> | 11. <b>Final Traffic Impact Study (TIS)</b> as required by the Access Management Code. (2 printed and 1 digital copy)   |

### PLAN REQUIREMENTS

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. <b>Vicinity map</b> to scale with north point showing railroads, major streams or rivers, and public streets in the vicinity of the site. (Suggested scale of 1" = 1000'.)   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. <b>Boundary lines of the subdivision</b> shall be enclosed with one continuous bold line, showing approximate dimensions (bearings and distances).   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. <b>Scale, legend, and north arrow</b> clearly shown, with orientation at top or left as north (not less than 1"=100' scale).   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. <b>Dates of plan preparation</b> and/or plan revisions.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. <b>Ownership, zoning, and land use of the site and surrounding properties</b> within 200 feet; both existing and proposed.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. <b>Names, addresses, and phone numbers of all companies, firms, or individuals involved</b> in the preparation of the plan (i.e. developer, property owner, architect, landscape architect, planner, engineer, surveyor, etc.) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. <b>Setback lines:</b> building and parking with dimensions in feet.  |



- | Yes                                 | No                       |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. <b>Setback lines:</b> building and parking with dimensions in feet.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. <b>Lots and tracts identified clearly</b> , with blocks numbered or lettered boldly and clearly in the center of the block, and lot dimensions with bearings and distances, and area in square feet and acres.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. <b>Note on the plan indicating intended ownership, purpose, and maintenance responsibilities</b> for any parcels labeled as tracts.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. <b>Setback lines:</b> building and parking with dimensions in feet.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. <b>Location of existing open space, alleys, parks, streams, ponds, vegetation</b> or other similar features within plan area, and whether they are to be retained or removed.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. <b>Existing utilities</b> , including sanitary sewer, force main, water main, gas mains, culverts and storm sewer pipe, street lights, electric conduits, and invert elevations of sewers at points of proposed connection.   |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 14. <b>Proposed street network</b> , including right-of-way, bearings, tangents, dimensions, and horizontal and vertical curvature data along the centerline of each street.  |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 15. <b>All public streets within the plan conform</b> to the applicable minimum design standards set forth in the Land Development Code and Technical Specifications. Design of crosswalks, on street parking, shoulder, pavement and lane dimensions.  |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 16. <b>Intersection site distance analysis.</b>   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. <b>Driveways, parking lots and stalls, aisles, and loading</b> and service areas and docks and dimensions.  |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 18. <b>Median breaks and turning lanes</b> , including sizes and radii; both existing and proposed.   |
| <input type="checkbox"/>            | <input type="checkbox"/> | 19. <b>Vehicle maneuvering/turning templates</b> reflecting the site can accommodate a minimum SU-30 class vehicles (for emergency access to all areas of the site), and the appropriate site-design vehicle for any other special areas of the site (such as delivery or dock areas, etc.), as necessary.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 20. <b>Existing and proposed sidewalks</b> and/or trail locations including proposed widths.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 21. <b>Proposed utilities</b> , including approximate location of sanitary sewer, water main, and street lights.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 22. <b>Existing and proposed easements</b> with dimensions. Existing easements shall be labeled with book and page number.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 23. <b>Any area within a federally designated floodplain.</b> Location, stations, and elevations of the 100-year floodplain within the plan area and 100-year elevations at rear lot corners adjacent to FEMA and Shaded Zone X floodplains. The source of the floodplain information shall be clearly labeled (example: FIRM, Map #20091C0041D, September 27, 1991). |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 24. <b>Stream corridor boundary</b> and dimensions.   |
| N/A <input type="checkbox"/>        | <input type="checkbox"/> | 25. <b>Phasing Plan</b> , if applicable.  |

Yes No

- ☒ ☐ 26. **Planned amenities**, such as fountains, art, outdoor seating, waste receptacles, etc.
- ☒ ☐ 27. **Any buildings within the plan area** which are existing or proposed, with status indicated including dimensions (i.e. to remain, remodel, new, to be demolished as part of Phase 2, etc.).
- ☒ ☐ 28. **Distances between all buildings**, between buildings and property lines, and between parking areas and property lines.
- X 29. **Existing Topography and Proposed Grading** of the area contained in the plan area and within 20 feet of the boundary shown by 2-foot contour intervals. Contour lines shall be legible but not overpowering.
- ☒ ☐ 30. **Building elevations** depicting the architectural style, size, exterior construction materials, and colors for each type of building proposed, and dimensions. If an architectural theme is planned, elaboration on the intent and extent of the scheme and details shall be provided. Elevations shall provide sufficient information to determine relationships between various elements, building height, proportion, bedroom counts, approximate square footage, etc. Rooftop and ground-mounted mechanical equipment shall be shown on elevations.
- ☒ ☐ 31. **Screen walls, fences, trash enclosures, and mail kiosks** (existing and proposed), including location, height, and materials.
- ☒ ☐ 32. **Table indicating lots, land areas, buildings, number of stories, building coverage, and all other quantities relative** to the submitted plan that are required to determine compliance with City codes. For commercial buildings, indicate service floor areas and number of tenant spaces, if applicable. For residential buildings, indicate dwelling units; if multiple building types, provide an additional table indicating dwelling units by building type.
- ☒ ☐ 33. **Table indicating required and proposed parking spaces.**
- ☐ ☐ 34. **Landscaping plan and table** indicating all proposed landscaping, noting common and botanical names, numbers, and planting sizes. Note all other areas to be sodded.
- N/A ☐ ☐ 35. **All exterior sign locations.** Include elevations and details.
- N/A ☐ ☐ 36. **All outside lighting facilities:** Location, height, wattage, and type including shielding, for buildings, parking lots and outdoor storage areas.
- N/A ☐ ☐ 37. **Outdoor storage areas**, including location, dimensions and design.
- ☒ ☐ 38. **Planned amenities**, such as fountains, art, outdoor seating, waste receptacles, etc.
- ☒ ☐ 39. **Preliminary design and location of all proposed storm drainage** conveyance, detention and treatment facilities and locations of existing drainage facilities.

I hereby submit all information required for a site plan and design review, or final development plan application review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted.

Signature of Applicant

Date

1/21/19

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**PROJECT NUMBER / TITLE: Z-19-05 Rezoning from RUR to R-1 with an associated Preliminary Plat PP-19-06 for Hilltop Ridge Subdivision**

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**PROCESS INFORMATION**

**Type of Request:** Rezoning and Preliminary Plat  
**Date Received:** December 13, 2019

**APPLICATION INFORMATION**

**Applicant:** Brett Cox, Renaissance Infrastructure Consulting  
**Owner:** Sunrise Investments Corporation  
**Parcel ID:** 0461352202001002020  
**Location:** Part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East; containing approximately 71 acres between 167<sup>th</sup> Street and Madison Road just north of St. Johns Trace IV Subdivision.

**REQUESTED ACTION**

The applicant has requested approval of a rezoning from RUR (Rural, Agricultural uses and single family dwellings) District to R-1 (Single-Family Residential) District and an associated preliminary plat for the Hilltop Ridge, a 150 lot subdivision.

**EXISTING ZONING AND LAND USE**

Currently the property is zoned RUR (Single-Family Residential) District which is a Johnson County zoning district with undeveloped agricultural land on the property. Properties that are annexed retain their County zoning until they are formally rezoned within the City.

**SURROUNDING ZONING AND LAND USE**

<b>Zoning</b>	<b>Use(s)</b>
<b>North of subject property</b>	
R-1 (Single-Family Residential) District, RP-3 (Planned Garden Apartment) District, and County RUR (Rural, Agricultural uses and Single-Family dwellings) District	Farmsteads and Single-Family Residences
<b>East of subject property</b>	
County RUR (Rural, Agricultural uses and Single-Family dwellings) District	Vacant property
<b>South of subject property</b>	
R-1 (Single-Family Residential) District	Single-Family Residences

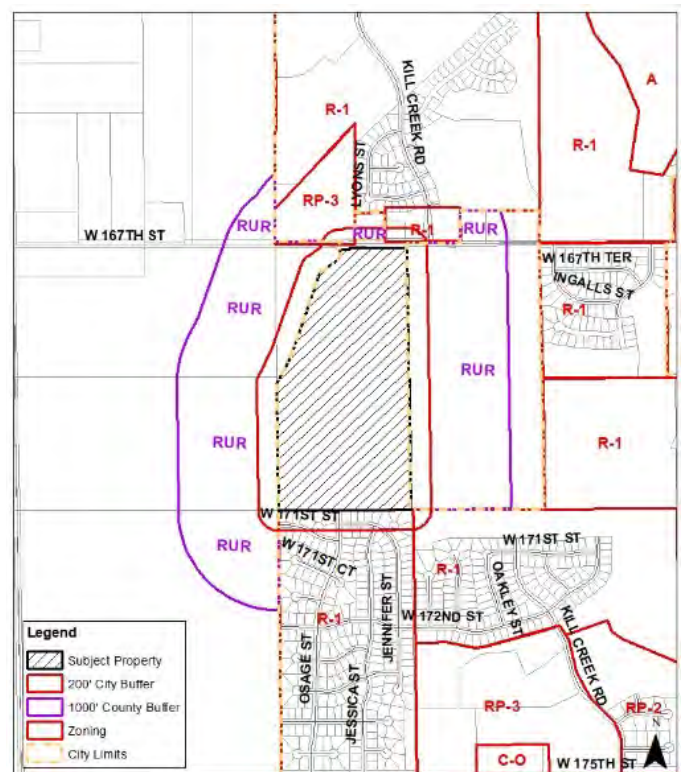
West of subject property	
County RUR (Rural, Agricultural uses and Single-Family dwellings) District	Vacant property

## **EXISTING CONDITIONS**

Currently the subject property is vacant agricultural land. The property is bound on the north by 167<sup>th</sup> Street and on the south by St. Johns Trace Subdivision. Properties located directly to the east and west are vacant agricultural uses.



The subject lots are notated in black hatch marks below, with the 200' notification within City limits outlined in red, and 1,000' within the unincorporated County notification outlined in purple.



## **BACKGROUND / HISTORY**

The site for the proposed development was annexed into the City of Gardner on December 2019 (Ordinance No. 2631). Currently, the property is not in use. At the time the property was annexed into the City, it had a County zoning designation as RUR (Rural, Agricultural uses and Single-Family dwellings).

## **CONSISTENCY WITH COMPREHENSIVE PLAN**

The *City of Gardner 2014 Comprehensive Plan* identifies this parcel for low-density residential future land use, described as “areas primarily consist of detached single family homes, but may also include duplexes or triplexes arranged in a low density format on larger lots, with buildings in character with typical single family homes. These “New Residential Growth Areas” include

undeveloped land that provides a “clean slate” for future residential development. The Comprehensive Plan addresses these growth areas as having three major components that help to ensure the community’s goals of providing high quality neighborhoods that satisfy demand for a broad type of housing. These goals are; neighborhood character, connectivity, and open space preservation & conservation design. The design and layout the applicant is proposing is consistent with the goals of the Comprehensive Plan.

### **STAFF ANALYSIS - ZONING MAP AMENDMENT**

This section highlights contents of the application which may merit particular consideration in regard to zoning intent and standards. A full analysis of applicable zoning regulations is available upon request.

This application is for a rezoning to a base district (not a planned development). The applicant has also submitted a preliminary plat with average lot sizes of 10,000 to 15,000 square feet indicating use of the Detached House – Suburban building type.

#### **17.03.030 (B) Review Criteria:**

1. The character of the neighborhood, including the design of streets, civic spaces and other open spaces; the scale, pattern and design of buildings; and the operation and uses of land and buildings;

**Staff Comment:** *The character of the area is generally single-family residential, rural residential and agricultural. Staff finds this rezoning appropriate for the character of the area, as it provides a similar use to the existing single family to the south and north.*

2. The zoning and use of properties nearby, and the compatibility with potential uses in the proposed district with these zoning districts;

**Staff Comment:** *The properties to the west and east are zoned County RUR Rural Residential District (developed with single-family homes and agricultural crop land). The properties to the north and south are zoned R-1 Single-Family Residential District (developed with single-family homes). The proposed zoning district and potential use are found to be compatible to the existing residential to the south and north. This should support compatibility.*

3. The suitability of the subject property for the uses to which it has been restricted;

**Staff Comment:** *While in the County, the subject property was zoned for agriculture and large lot residential. This was an appropriate residential density when utility infrastructure was not available. However, the area is urbanizing with the planned growth of the Gardner community. The property is better suited for an R-1 zoning designation, which will provide a buffer between the existing rural residential in the County.*

4. The extent to which removal of the restrictions will detrimentally affect nearby property;

**Staff Comment:** *The most pertinent current restriction is the minimum lot size of 10 acres. Removing that will result in increased density, traffic, stormwater impact, etc. However, the applicant is providing for the continuation of Madison Street, which will also offer another important road connection for existing subdivisions to the south, and improved public safety. This should benefit nearby properties.*

5. The length of time the subject property has remained vacant as zoned;

**Staff Comment:** *The subject property has been farmland at least since the 1940's.*

6. The relative gain to economic development, public health, safety and welfare by the current restrictions on the applicant's property as compared to the hardship imposed by such restrictions upon the property;

**Staff Comment:** *Single family development within this area will provide a positive gain to the City's economic growth. Also, through the development of new streets that provide inter-connectivity between neighborhoods the applicant is helping to provide a more efficient means of travel within the northwest area of the community.*

7. The recommendations of professional staff;

**Staff Comment:** *Staff recommends approval of the rezoning application.*

8. The conformance of the requested change to the Comprehensive Plan, and in particular the relationship of the intent statement for the proposed district and how the specific application furthers that intent statement in relation to the Comprehensive Plan;

**Staff Comment:** *As stated previously, the Comprehensive Plan identifies the property for low-density residential, which translates to the R-1 zoning district as proposed. The intent of the R-1 Single-Family Residential District is "to provide residential living in a low-density neighborhood setting, with access to supporting uses such as schools, churches, parks and other public facilities which reinforce residential neighborhoods". This district can be used to implement development patterns identified in the new growth areas where the subject property is located.*

9. The extent to which the proposed use would adversely affect the capacity or safety of any utilities, infrastructure or public services serving the vicinity; and

**Staff Comment:** *The proposed zoning change and use would not adversely affect the capacity of any utilities, infrastructure or public service in the vicinity. The infrastructure is in place for the use and would not adversely impact the surrounding area.*

10. Other factors relevant to a particular proposed amendment or other factors which support other adopted policies of the City.

**Staff Comment:** *The rezoning application to R-1, single-family development supports the adopted policy in the Comprehensive Plan for new residential growth areas. This proposal also*



*supports the extension of our trail system through the inter-connection with the Kill Creek Trail which is consistent with the adopted Park System Master Plan.*

## **STAFF ANALYSIS - PRELIMINARY PLAT**

### **17.03.020 (D1) Review Criteria:**

1. The application is in accordance with the Comprehensive Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.

**Staff Comment:** *The application is in accordance with the Comprehensive Plan with regard to the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles of the plan. The applicant is proposing a preliminary plat for 150 lots, two tracts of land, and right-of-way dedication on approximately 71 acres. Properties directly adjacent to the development are primarily single-family residential and agricultural. The Comprehensive Plan also calls for plans in the "New Residential Growth" areas to implement a sidewalk/trail infill program that includes pedestrian through-access, connecting residential subdivisions through footpaths and trails. This subdivisions will be providing cross connectivity with St. Johns Trace Subdivision to the south and will provide the means for connecting with Symphony Farms Subdivision to the north with sidewalks, trails and streets.*

2. Compliance with the requirements of this Land Development Code, and in particular the blocks and lots proposed are capable of meeting all development and site design standards under the existing or proposed zoning.

**Staff Comment:** *The plat meets the site design standards regarding lot size minimum, block length, cul-de-sac length and easements. The plan complies with the requirements of the Gardner Land Development Code in that the blocks and lots proposed can meet all development and site design standards. The development is proposed to be a Detached House - Suburban building type for single-family residential, with a Suburban Yard frontage design type. While this development is within the service area of Celebration Park, they are still dedicating approximately 10% of the space to open and civic space. The street and sidewalk minimums have not been met with the existing preliminary plat lay-out. 6' sidewalks will need to be provided along the new proposed Madison Street and a 10' trail will be required along 167<sup>th</sup> Street. Also, 167<sup>th</sup> Street R-O-W will need to be increased from 40' to 60'. With these minor corrections to the plat, this development will be in compliance with the development and site design standards of the Code. These are recommended conditions of approval.*

3. Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.

**Staff Comment:** *There are five (5) phases proposed for this plat. The Fire Department has required that after phase two (2) is completed and before any further development can occur, a secondary access will be provided to the south. This property shares a border with a subdivision to the south and should be able to provide secondary access with the extension of an existing street after phase two (2) has been developed.*

4. Any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning,

engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.

**Staff Comment:** *The Stormwater Plans have not yet been approved. No impacts in need of mitigation were identified by the technical reports therefore this criteria is met.*

5. The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Comprehensive Plan.

**Staff Comment:** *This plat application will not deter any existing or future development on adjacent property. The adjacent property is mainly developed with single-family residential which is what is planned for this property which is consistent with the comprehensive plan.*

6. The design does not impede the construction of anticipated or planned future public infrastructure within the area.

**Staff Comment:** *This application does not impede the construction of planned or future public infrastructure. This project will connect incomplete streets in the area and provide more options for people access 167<sup>th</sup> Street.*

7. The recommendations of professional staff, or any other public entity asked to officially review the plat.

**Staff Comment:** *Staff recommends approval of the preliminary plat of Hilltop Ridge with conditions outlined below.*

### **STAFF ANALYSIS – INFRASTRUCTURE / OTHER**

**ELECTRIC** – Electric is currently installed both to the north and south of the subject property and is to be extended into the project from there.

**SANITARY SEWER** – The subject property is within the Gardner sanitary sewer service area. Sanitary sewer service will be extended throughout the subdivision by a gravity system that flows to the north and will be treated at the City's northern waste water treatment facility.

**Staff Comment:** *Electrical, water, or sanitary sewer infrastructure are not readily available throughout the site, the developer will be required to extend the services to all lots. City Electric is working on getting power transferred over from Evergy.*

### **STORM WATER**

Two stormwater detention ponds have been integrated into the project. A Stormwater Management Plan has not been revised based on the request of the Public Works Department. This will be a condition of approval.

### **ROADWAY NETWORK; VEHICULAR ACCESS; SIDEWALKS**

Internal road networks within the subject property will connect to 167<sup>th</sup> Street to the north and with Osage Street to the south.

### **FIRE SERVICE**

Johnson County Fire District #1, as previously mentioned, has requested that secondary access be provided once "Phase II" is developed. Phase III and all other further phases will only be



allowed if a secondary access is provided into this subdivision. This secondary access will allow for fire and other emergency vehicles to gain access into this subdivision in case the main entrance is blocked. This will be a recommended condition of approval for Phases III thru V.

### **ACTIONS**

Per Section 17.03.010 (G) of the *Gardner Land Development Code*, a review body may take the following actions (or recommend the following actions):

1. Approve the application.
2. Approve the application with conditions or modifications to lessen or mitigate a potential impact from the proposed application.
3. Deny the application.
4. Continue the application to allow further analysis. The continued application shall not be more than 60 days from the original review without consent of the applicant. No application shall be continued more than once by each review body without consent of the applicant.

### **EFFECT OF DECISION**

Zoning Map Amendment (Rezoning) – Amendments to the official zoning map (rezoning) shall be approved by the Governing Body in the form of an ordinance. Approved changes shall be indicated on the official zoning map by the Director within 30 days following such action.

Preliminary Plat – The approval of the preliminary plat does not constitute an acceptance of the subdivision, but authorizes preparation of the final plat. If the Planning Commission tables a plat, the applicant shall have 60 days to submit information sufficient for approval or the application shall be deemed denied. The applicant may request that a denied preliminary plat be submitted to the Governing Body and the Planning Commission shall submit all information to the Governing Body, which can make a determination consistent with these regulations. The approval of the preliminary plat shall be effective for 18 months, except that any approval of a final plat for any phase specifically indicated on a preliminary plat shall renew the 18-month period. The Planning Commission may grant an extension of this period for up to one year, if the applicant demonstrates substantial progress towards the design and engineering requirements necessary to submit a final plat.

### **ATTACHMENTS**

- I. Rezoning Application
- II. Public hearing mailed notice letters
- III. Preliminary Plat
- IV. Preliminary Plat Application

### **RECOMMENDATION**

*Zoning request from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District)*

Staff recommends the Planning Commission recommend approval of case Z-19-05, a rezoning from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District) for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road, to the Governing Body.

**Recommended Motion:**

After review of case Z-19-05, a rezoning from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District) for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road, and a staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the application.

**Preliminary Plat**

Staff recommends the Planning Commission approve case PP-19-06, a preliminary plat for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road.

**Recommended Motion:**

After review of case PP-19-06, a preliminary plat for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167<sup>th</sup> Street approximately 200' west of Kill Creek Road and staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the applications subject to the following conditions:

1. Provide a 10' wide trail along 167<sup>th</sup> Street and also extends down along the floodplain located on the northwest side of the development.
2. Provide 60' of ½ right-of-way along 167<sup>th</sup> Street.
3. Approval of a Stormwater Management Plan by the Public Works Department.



PRELIMINARY PLAT  
**HILLTOP RIDGE**

A SUBDIVISION IN THE CITY OF GARDNER, JOHNSON COUNTY, KANSAS

INDEX OF SHEETS

1. Preliminary Plat
2. Street Network
3. Preliminary Grading Plan
4. Preliminary Site Utility Plan
5. Fire Hydrant Coverage Map
6. Preliminary Street Tree Plan
7. Typical Sections

UNPLATTED

UNPLATTED  
Lynn A. Johnson & Joan A. Johnson Trust  
Zone: RUR  
Use: Vacant

SE Corner of the SW 1/4 of the NW 1/4  
of Section 22, T14S, R22W

LOT AREAS TABLE			
Lot No.	Area (SF)	Lot No.	Area (SF)
1	8479	76	12242
2	8400	77	10911
3	13359	78	14976
4	16405	79	22065
5	21680	80	18699
6	38608	81	14378
7	30854	82	13064
8	13349	83	14216
9	11045	84	16345
10	11358	85	19977
11	8400	86	16611
12	8400	87	18909
13	10728	88	15402
14	11635	89	12577
15	12872	90	13267
16	24052	91	17085
17	12193	92	10336
18	22823	93	10225
19	12759	94	10980
20	9100	95	10818
21	11054	96	10939
22	13410	97	10061
23	13734	98	10061
24	14351	99	10061
25	11851	100	10061
26	11990	101	12875
27	14945	102	14897
28	12345	103	11682
29	12344	104	11721
30	15326	105	11760
31	24690	106	11799
32	17671	107	12834
33	24360	108	12479
34	11245	109	11693
35	11807	110	11044
36	12794	111	10734
37	13110	112	10775
38	15023	113	11729
39	11777	114	11254
40	15052	115	14905
41	17282	116	18309
42	13018	117	16708
43	12707	118	10885
44	12397	119	11682
45	12868	120	11925
46	15204	121	13894
47	21879	122	12282
48	16148	123	12290
49	15347	124	13763
50	22728	125	12852
51	24114	126	12715
52	20192	127	15850
53	16631	128	11068
54	13882	129	10761
55	12899	130	10685
56	11415	131	10920
57	10726	132	13642
58	10563	133	16701
59	12214	134	17419
60	12587	135	19561
61	11411	136	21007
62	14799	137	23959
63	18227	138	51056
64	14739	139	13221
65	20951	140	11499
66	19261	141	12049
67	18635	142	15704
68	15807	143	11456
69	14206	144	11676
70	11429	145	19838
71	11789	146	19303
72	12028	147	15882
73	14967	148	12751
74	16740	149	11994
75	14117	150	16328

SURVEYOR:

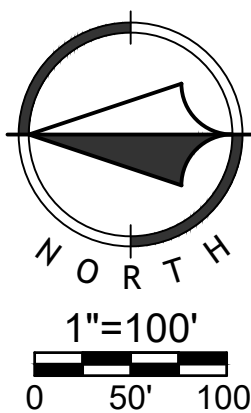
Renaissance Infrastructure Consulting  
5015 NW Canal Street, Suite 100  
Riverside, MO 64150  
(816) 800-0950

ENGINEER:

Renaissance Infrastructure Consulting  
5015 NW Canal Street, Suite 100  
Riverside, MO 64150  
(816) 800-0950

DEVELOPER:

Dennis Pugh  
18421 Hickory Street  
Gardner, KS 66030  
(913) 220-3927



NOTE:

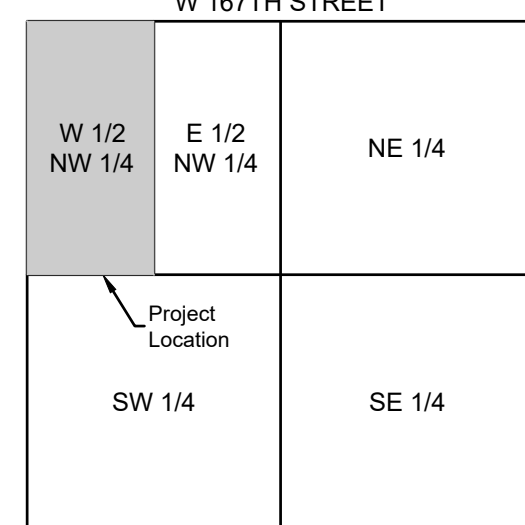
There will be 5' sidewalks along all streets within the subdivision.

NOTE:

All private tracts shall be owned and maintained by the Hilltop Ridge Home Owners Association.

PROPERTY ZONING:

Existing Zoning R1  
Proposed Zoning R1



LOCATION MAP  
SECTION 22-14-22  
Scale 1" = 2000'

SITE PHASING TABLE

Phase No.	No. of Lots	Approx Date
Phase I	31 Lots	Spring 2020
Phase II	28 Lots	Spring 2021
Phase III	32 Lots	Spring 2022
Phase IV	34 Lots	Spring 2023
Phase V	25 Lots	Spring 2024

OPEN & CIVIC SPACE AREA TABLE

Phase No.	Tract No.	Tract Use	SF
Phase I	Tract A	Private Open Space	25,942
	Tract B	Detention	52,905
	Tract C	Private Open Space	65,683
Phase II	Tract D	Private Open Space	44,952
Phase IV	Tract E	Private Open Space	112,269
	Tract F	Detention	55,107
Phase V	Tract H	Detention	31,204

UNPLATTED  
Bartlett, Thomas E. & Kara S.  
Zone: RP-3  
Use: Single Family Home

UNPLATTED  
Wise, George H.  
Zone: RUR  
Use: Vacant

UNPLATTED  
Heartland Family Farms, LLC  
Zone: RUR  
Use: Vacant

UNPLATTED  
Heartland Family Farms, LLC  
Zone: RUR  
Use: Vacant

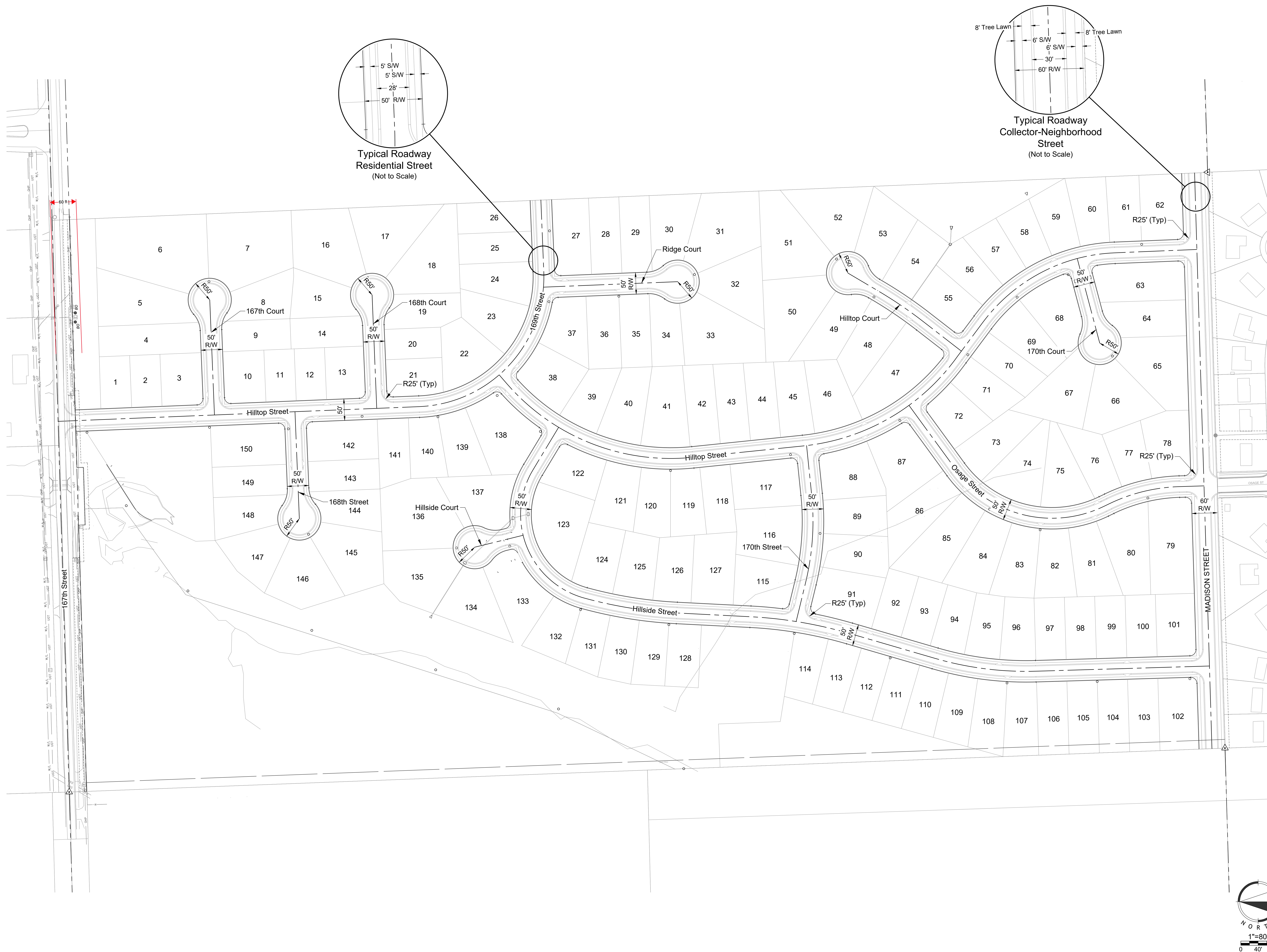
Zone X (Future Base Flood)  
Firm Map No. 20091C0104G,  
Dated August 3, 2009

UNPLATTED  
Heartland Family Farms, LLC  
Zone: RUR  
Use: Vacant

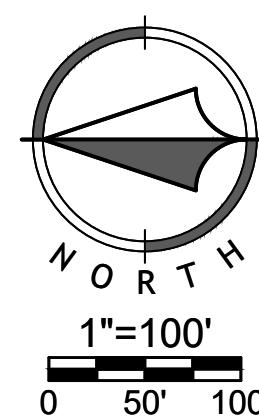
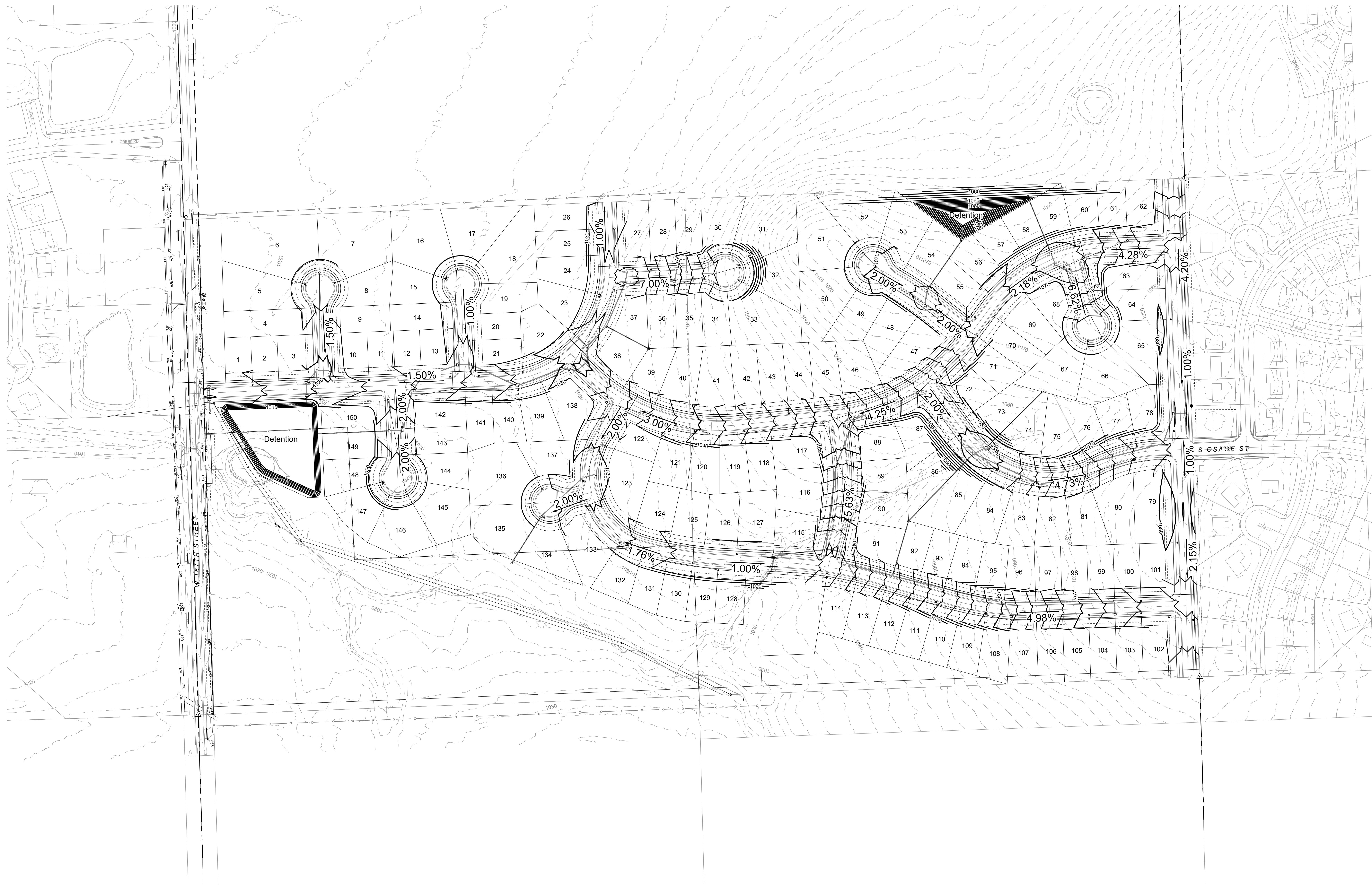
LEGAL DESCRIPTION:

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

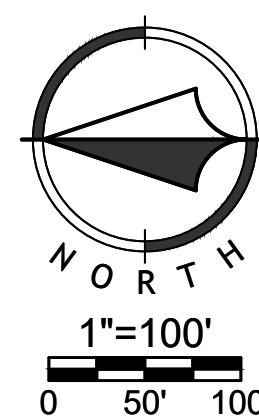


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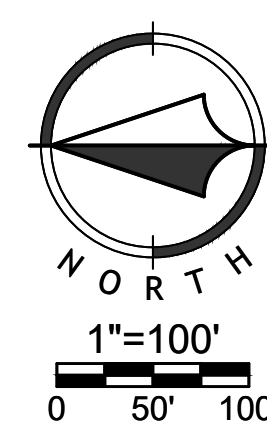


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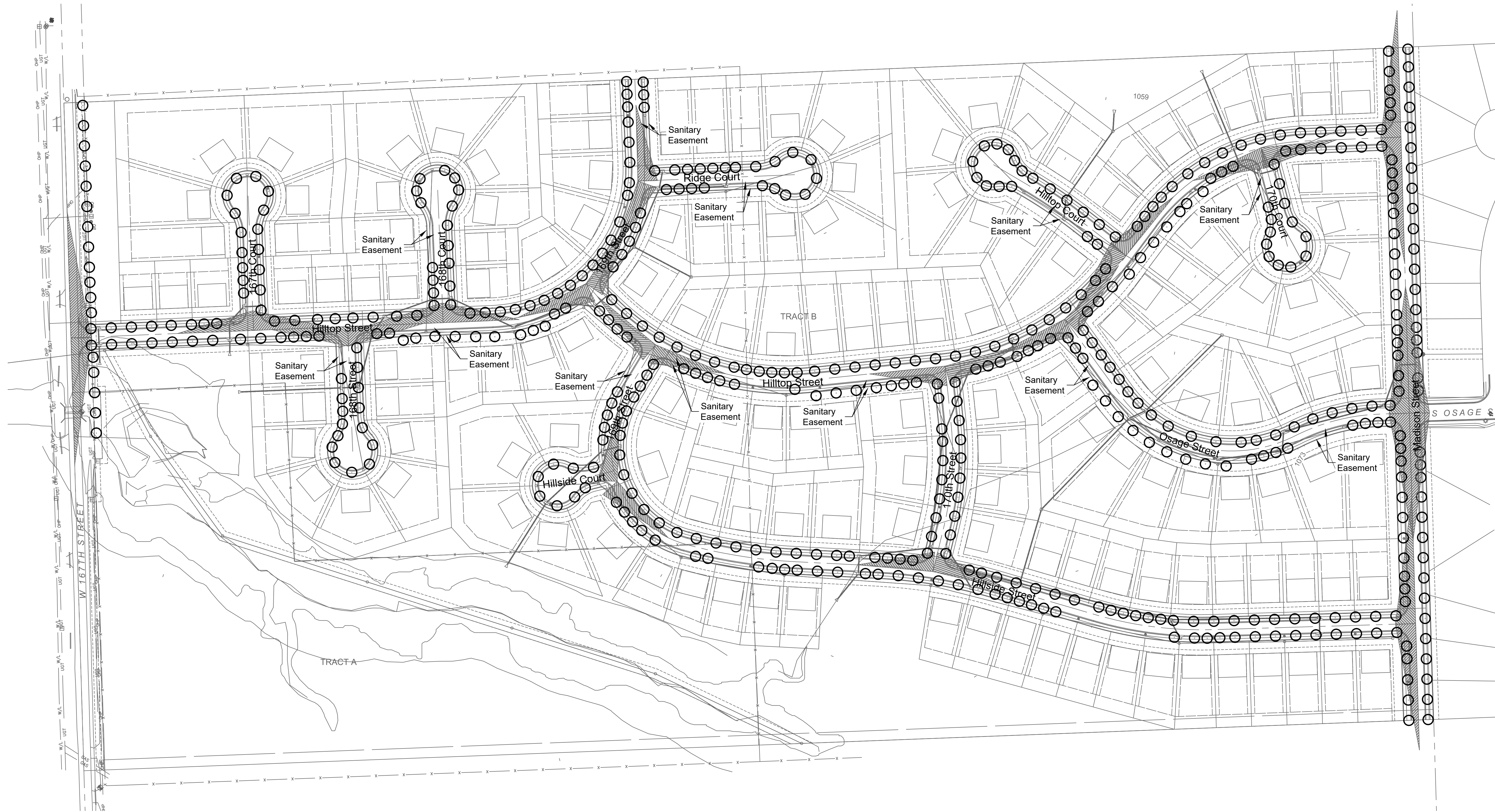




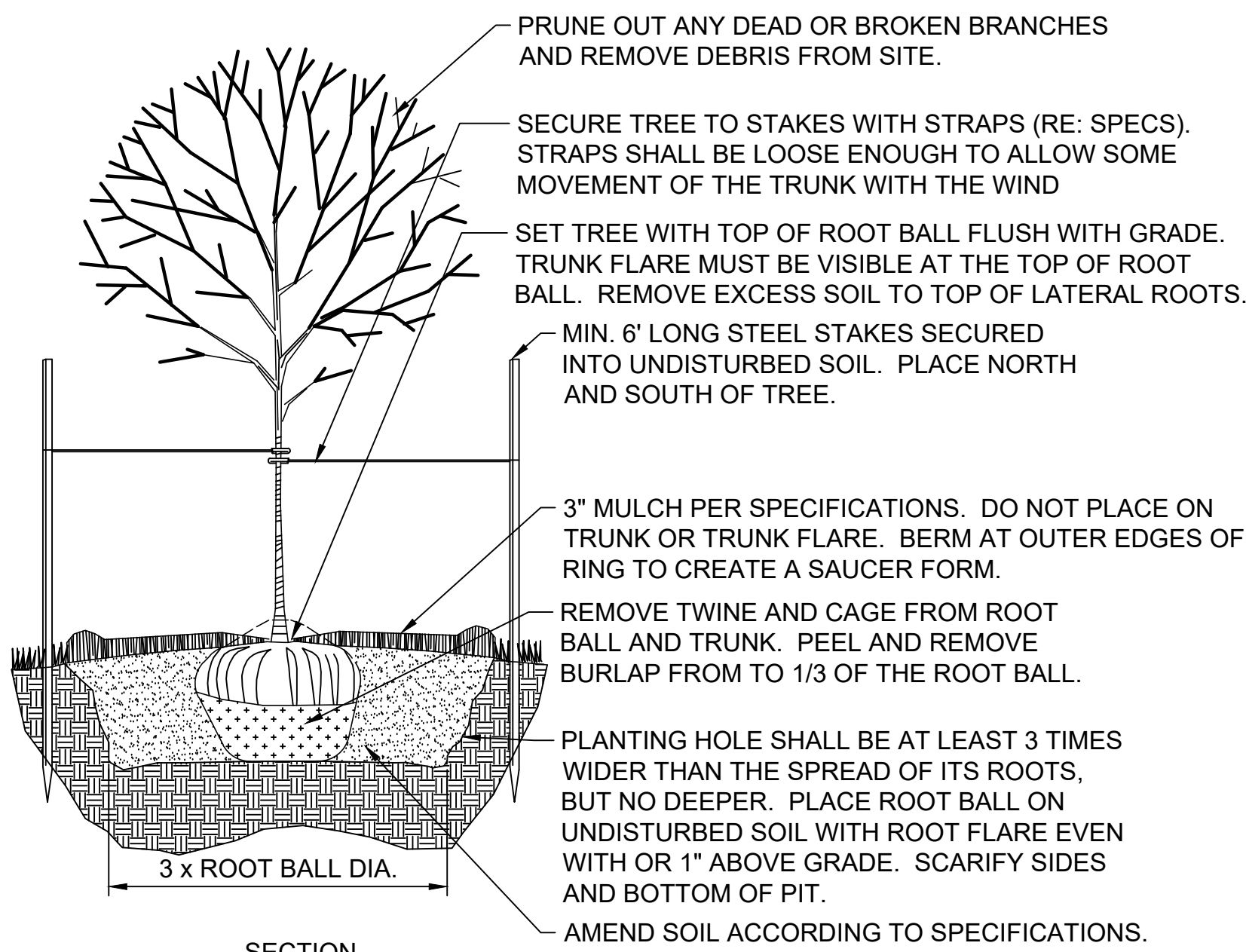








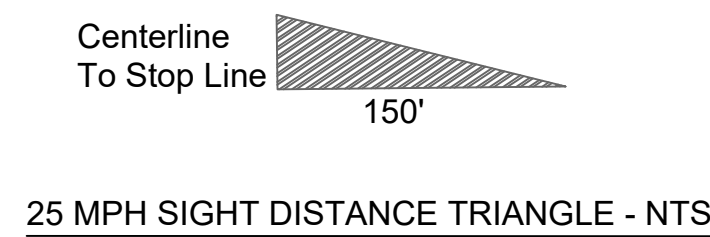
NOTES:  
1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED  
2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



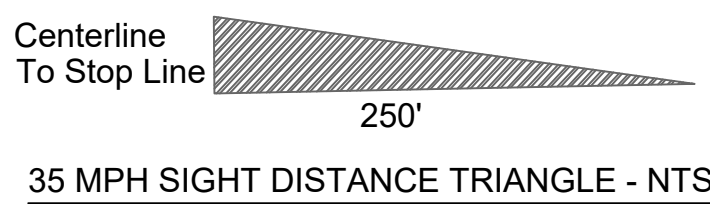
TREE PLANTING DETAIL - NTS

Street Tree Requirements at 1 tree/ 40'

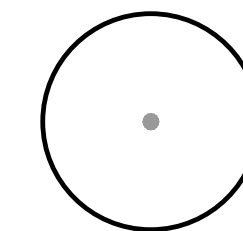
167th Street - 660'	Required Trees: 17	Provided Trees: 17
167th Court - 622'	Required Trees: 16	Provided Trees: 16
168th Street - 585'	Required Trees: 15	Provided Trees: 15
168th Court - 615'	Required Trees: 16	Provided Trees: 16
Ridge Court - 715'	Required Trees: 18	Provided Trees: 20
*2 shifted from 169th Street Sanitary Easement		
169th Street - 914'	Required Trees: 22 each side	Provided Trees: 40
*2 Shifted to Ridge Court due to Sanitary Easement		



Hillside Street - 2427'	Required Trees: 36 each side	Provided Trees: 73
Hillside Court - 320'	Required Trees: 8	Provided Trees: 8
Hilltop Street - 2869'	Required Trees: 71 each side	Provided Trees: 142
Hilltop Court - 720'	Required Trees: 18	Provided Trees: 18
170th Court - 490'	Required Trees: 13'	Provided Trees: 13
Osage Street - 800'	Required Trees: 20each side	Provided Trees: 40
Madison Street - 1329'	Required Trees: 33	Provided Trees: 66



CONCEPT PLANT SCHEDULE



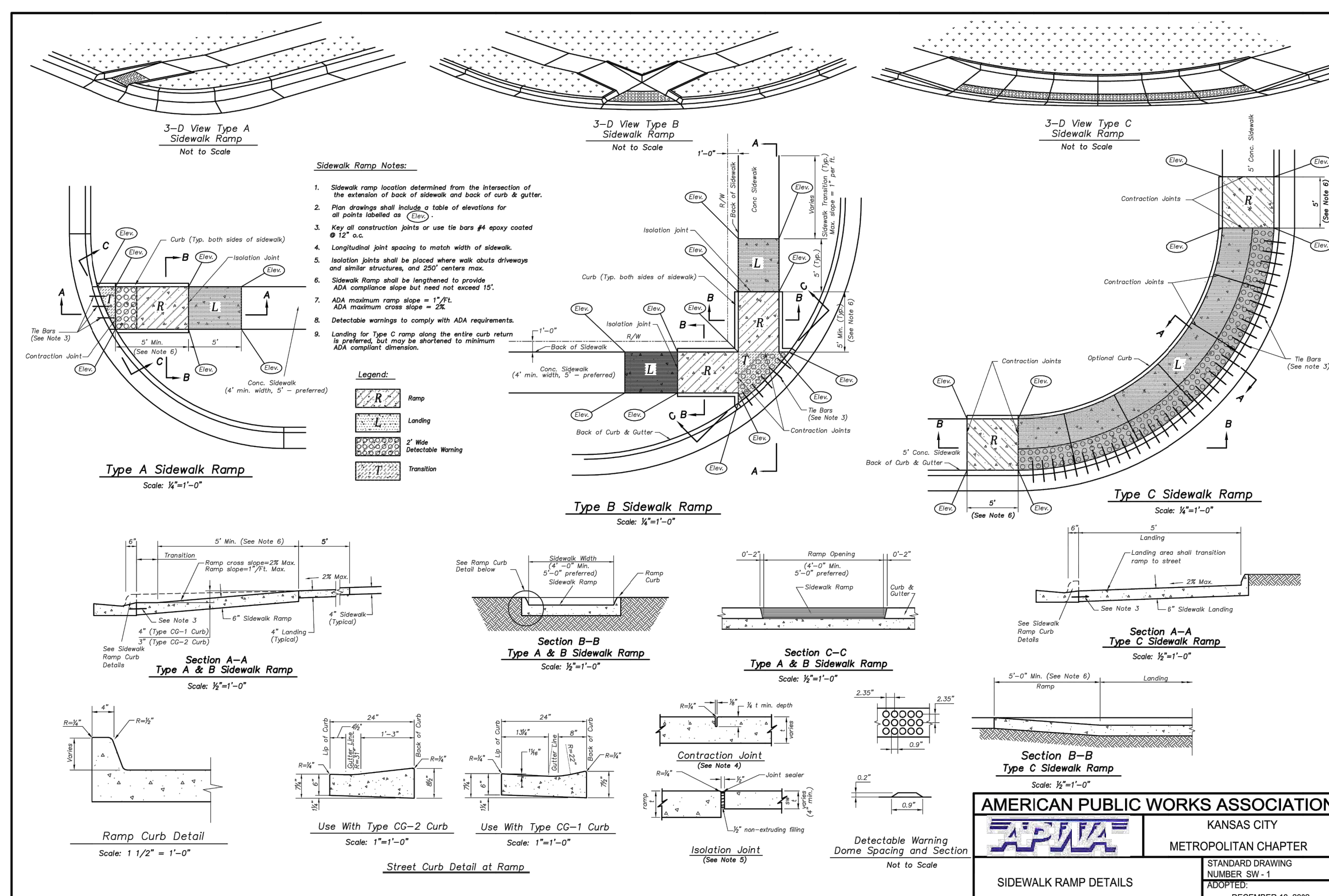
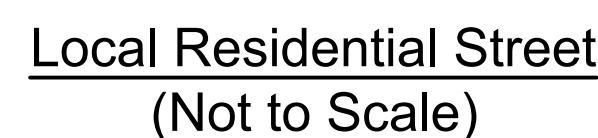
STREET TREE - 2" CAL. B&B  
Acer rubrum 'October Glory' TM / October Glory Maple  
Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo  
Gleditsia triacanthos 'Skyline' / Skyline Honey Locust  
Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust  
Quercus shumardii / Shumard Red Oak  
Ulmus americana 'Valley Forge' / American Elm  
Zelkova serrata 'City Sprite' TM / City Sprite Zelkova

505

- General Notes:
- Street Trees shall be located between the curb and sidewalk unless otherwise shown on plan.
  - Street Trees shall be shifted to avoid utility conflicts.
  - Street Trees shall be spaced 25'-40' o.c. and may be in the sight distance triangle provided 30' of spacing remains between tree and intersection street back of curb, per Gardner Municipal Code 17.04.010 Street Network Design.











Business & Economic Development  
Planning Division  
120 E. Main St. Gardner, KS 66030  
P: 913.856.0913 | F: 913.856.4562  
[www.gardnerkansas.gov](http://www.gardnerkansas.gov)

## ZONING MAP AMENDMENT (REZONING) APPLICATION

Pre-App Date	_____
Fee	<u>\$875.00</u> <i>pd</i>
File No.	<u>Z-19-05</u>

### OWNER INFORMATION

Name(s) Sunrise Investments Corp.  
Contact Patrick B. Miller  
Address P.O. Box 393  
City Stilwell State KS Zip 66085  
Phone (913) 851-1333 Email dennispugh2@gmail.com

### APPLICANT/AGENT INFORMATION

Name(s) Renaissance Infrastructure Consulting  
Contact Ryan DaMetz, PE  
Address 132 Abbie Avenue  
City Kansas City State KS Zip 66103  
Phone (913) 317-9500 Email rdametz@ric-consult.com

### SITE INFORMATION

Property Address/Location: SW of Intersection of Kill Creek Road & 167th Street (see Tract B of attached Exhibit)  
Legal Description (Attach If Necessary) Attached  
Total Site Area 71.15 Acres  
Present Zoning A (Agricultural) Proposed Zoning R-1 (Single Family Residential)  
Present Land Use Future Growth Area Proposed Land Use Low Density Residential  
Proposed Building Type(s) Single Family Residential

### Please indicate a reason for the request:

Owner would like to develop property into single family home residential subdivision.

### SIGNATURE

I/We, the undersigned am/are the (owner(s)), (duly authorized agent), (Circle One) of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for rezoning as indicated above.

Signature(s): *[Signature]* Date 12/13/2019  
Date \_\_\_\_\_



**ZONING MAP AMENDMENT (REZONING)  
APPLICATION CHECKLIST****APPLICATION SUBMITTAL REQUIREMENTS**

- | Yes                                 | No                                  |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 1. Complete application packet   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 2. Application fee   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 3. Digital copies (PDF) of the completed application and legal description (Word)            |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 4. Sign posting affidavit  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 5. Preliminary Development Plan application and plans (if rezoning to a planned development) |

**Please respond to the following statements:**

Anticipated relationship of proposed zoning to economic development or public health, safety and welfare:

The project consists of public and private improvements for a 150-lot single-family development, and five tracts on approximately 71 acres of previously undeveloped property. Common areas will be maintained by the homeowners' association. Homeowners must adhere to the codes, covenants, and restrictions prepared for the project to assure ongoing maintenance and upkeep of their personal residences and common properties. This development will increase the tax base for the developed lots and will provide ample permanent greenspace within the development.

Anticipated impact of proposed zoning/use on existing public infrastructure:

There are new stormwater detention facilities to be constructed that will attenuate the peak runoff rate to less than existing conditions. The private open space will also retain much of the existing natural vegetation and natural waterways. Runoff from within the development will be conveyed in an enclosed storm sewer system and released into the detention facilities. Modern and safe, walkable streets with sidewalks and curb and gutter will be constructed. New sanitary sewers will be constructed that will minimize infiltration and inflow within the system conveyed to the treatment facility.

**I hereby submit all information required for rezoning application review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted.**

  
Signature of Applicant

12/13/2019

Date



Business & Economic Development  
Planning Division  
120 E. Main St. Gardner, KS 66030  
P: 913.856.0913 | F: 913.856.4562  
[www.gardnerkansas.gov](http://www.gardnerkansas.gov)

### OWNER AFFIDAVIT

I/WE Sunrise Investments Corp., hereby referred to as the "Undersigned", being of lawful age, do hereby on this 24th day of October, 2019, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize Renaissance Infrastructure Consulting (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the City of Gardner, regarding Tract B (see attached Exhibit) (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process. I/We further attest that I/We agree to be legally bound by the application made on our behalf by applicant and the resultant action upon such application by the City of Gardner.
3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

B. Miller  
Owner

\_\_\_\_\_  
Owner

STATE OF Kansas  
COUNTY OF Johnson

The foregoing instrument was acknowledged before me on this 24th day of October, 2019, by Brian Miller

My Commission Expires: 2/21

[Signature]  
Notary Public

Notary Public-State of Kansas  
Marjorie Minnich

My Appointment Expires 2/21



### **Exhibit A, Legal Description**

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.





ERROR OF CLOSURE:

TRACT A  
Perimeter: 3640.02' Area: 435668.76 Sq. Ft.  
Error Closure: 0.0045 Course: N28°55'32"W  
Error North: 0.00395 East: -0.00218

Precision 1: 808893.33

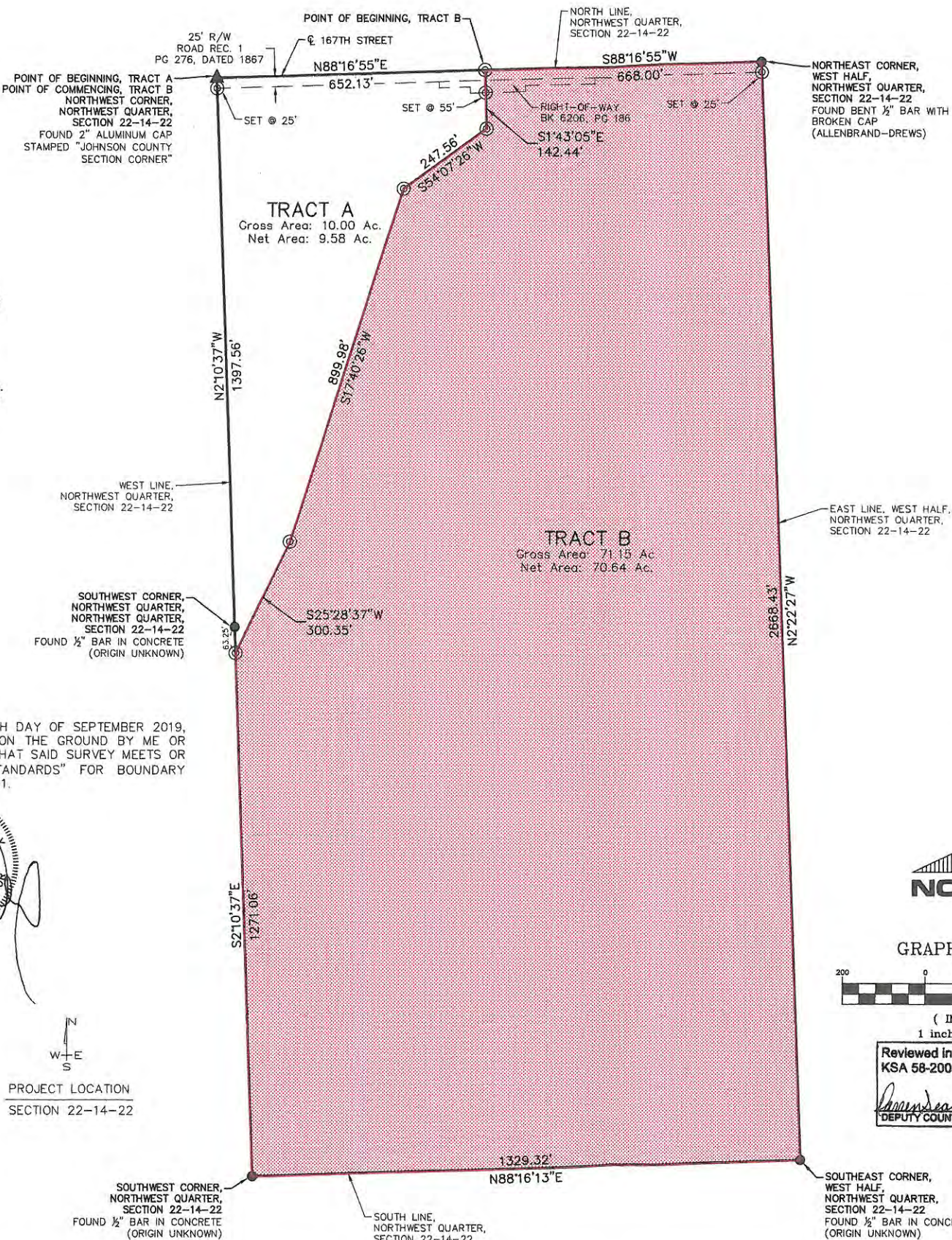
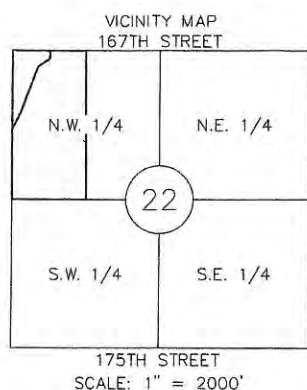
TRACT B  
Perimeter: 7527.13' Area: 3099214.71 Sq. Ft.  
Error Closure: 0.0070 Course: S39°01'41"W  
Error North: -0.00546 East: -0.00442

Precision 1: 1075304.29

LEGEND

- ▲ MONUMENT FOUND AS DESCRIBED
- BAR FOUND AS DESCRIBED
- ⊙ SET 1/2" X 24" REBAR WITH PLASTIC KS CLS 93 CAP

THIS IS TO CERTIFY THAT ON THE 19TH DAY OF SEPTEMBER 2019, THIS FIELD SURVEY WAS COMPLETED ON THE GROUND BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.A.R. 66-12-1.



LEGAL DESCRIPTIONS:

PARENT TRACT  
(per deed Book 201307, Page 003161)

West Half of the Northwest Quarter (W/2 NW/4) in Section Twenty-two (22), Township Fourteen (14) South, Range Twenty-two (22) East, in Johnson County, Kansas

TRACT A

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Beginning at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence North 2 degrees 10 minutes 37 seconds West, along the West line of the Northwest Quarter of said Section 22, a distance of 1397.56 feet to the point of beginning, containing 10.00 acres, more or less.

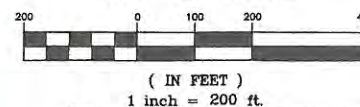
TRACT B

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West Half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

PREPARED FOR:  
D&Z EXPLORATION  
P.O. BOX 159  
ST. ELMO, ILLINOIS 62458  
PHONE: (618) 829-3274  
CONTACT: ZANE BELDEN



GRAPHIC SCALE



Reviewed in accordance with  
KSA 58-2001 to 2005

*Matthew R. Cox* 10-8-19  
DEPUTY COUNTY SURVEYOR DATE

SURVEY

PT. OF NW 1/4  
SECTION 22-14-22  
JOHNSON COUNTY, KANSAS



CIVIL ENGINEERS  
LAND SURVEYORS - LAND PLANNERS

122 N. WATER STREET  
OLATHE, KANSAS 66061

PHONE: (913) 764-1076 FAX: (913) 764-8885

Scale: 1"=200' Drawn By: MRC Project: 34761  
Date: 9/13/2019 Checked By: MRC Section: 22-14-22

AD PROJECT # 34761

22-14-22

SURVEY



**ORDINANCE NO. 2631**

AN ORDINANCE ANNEXING LAND TO THE CITY OF GARDNER, KANSAS.

WHEREAS, the following described land is located in Johnson County, Kansas;

WHEREAS, a written petition and/or consent for annexation of the following described land, signed by all of the owners thereof, have been filed with the City of Gardner, Kansas pursuant to K.S.A. 12-520(a)(7), as amended; and

WHEREAS, the governing body of the City of Gardner, Kansas, finds it advisable to annex such land.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF GARDNER, KANSAS:

Section 1. That the following described land is hereby annexed and made a part of the City of Gardner, Kansas:

**Legal Description:**

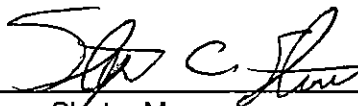
All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

The entire width of the adjacent right of way immediately North of the above described real property, such right of way being 50 to 90 feet in width, such right of way being identified as 167<sup>th</sup> street.

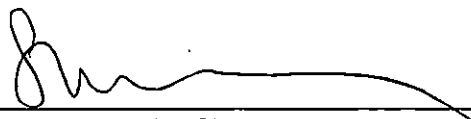
Section 2. That this ordinance shall be effective from and after its passage, approval and publication in the official city newspaper.

PASSED AND APPROVED by the Governing Body of the City of Gardner, Kansas this  
4<sup>th</sup> day of November, 2019.



  
\_\_\_\_\_  
Steve Shute, Mayor

ATTEST:

  
\_\_\_\_\_  
Sharon Rose, City Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Ryan B. Derk, City Attorney





## PRELIMINARY PLAT APPLICATION

Pre-App Date \_\_\_\_\_  
Fee \_\_\_\_\_  
File No. \_\_\_\_\_

### OWNER INFORMATION

Name(s) Patrick B. Miller & Dennis Pugh  
Contact Patrick B. Miller  
Address P.O. Box 393  
City Stilwell State KS Zip 66085  
Phone (913) 851-1333 Email dennispugh2@gmail.com

### APPLICANT/AGENT INFORMATION

Name(s) Renaissance Infrastructure Consulting  
Contact Ryan DaMetz, PE  
Address 132 Abbie Avenue  
City Kansas City State KS Zip 66103  
Phone (913) 317-9500 Email rdametz@ric-consult.com

### SITE INFORMATION

Property Address/Location SW of Intersection of Kill Creek Road & 167th Street (see Tract B of attached Exhibit)  
Legal Description (Attach If Necessary) Attached  
Number of Existing Lots 0 Number of Proposed Lots 150  
Total Site Area 71.15 Acres Present Zoning A (Agricultural) - R-1 Pending  
Number of Existing Structures 0 Present Land Use Low Density Residential Pending  
Proposed Street Design Type(s) & Class Standard Local and Collector  
Proposed Type(s) Open & Civic Space Walking Trail and Amenity Area  
Proposed Frontage Type(s) Suburban Yard; Neighborhood Yard  
Proposed Building Types(s) House - Suburban

### SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for preliminary plat as indicated above.

Signature(s):  Date 12/13/2019  
Date \_\_\_\_\_

## PRELIMINARY PLAT APPLICATION CHECKLIST

### APPLICATION SUBMITTAL REQUIREMENTS

- | Yes                                 | No                                  |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 1. <b>Complete application packet</b>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 2. <b>Application fee</b>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 3. <b>10 complete sets of full sized plans printed and folded</b>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 4. <b>Digital copies (PDF) of the completed application, plans, and legal description</b>  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 5. <b>1 copy of existing covenants and restrictions</b> applicable to the development, if any (reference book and page).   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 6. <b>Letter of intent</b> as to whether a Homeowners Association will be created and if any covenants and restrictions are proposed by the subdivider.  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 7. <b>Preliminary Floodplain modeling</b> using HEC-RAS model provided by the City if encroachment is proposed within a FEMA or Shaded Zone X 100-year floodplain. (Contact City Engineer to obtain model and requirements). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 8. <b>Preliminary Stormwater Management Plan</b> (2 printed and 1 digital copy)  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 9. <b>Preliminary Traffic Assessment</b> See Access Management Code. (2 printed and 1 digital copy)  |

### PRELIMINARY PLAT REQUIREMENTS

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. <b>Name of subdivision</b> (unique and numerically consistent and the words "PRELIMINARY PLAT," prominently displayed as the title.)  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. <b>Names, addresses, and phone numbers</b> of all companies, firms, or individuals involved in the preparation of the plat (i.e. property owner, engineer, surveyor, etc.).   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. <b>Date of preparation</b> of preliminary plat and/or revisions.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. <b>Vicinity map</b> (drawn at a scale of 1"=2,000', locating the proposed subdivision in relation to the section of land, including township and range, section street names, and a north arrow.)                           |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. <b>A legal boundary description</b> with angular bearings and linear distances, referenced to section or quarter-section corners, Point of Commencing and/or Point of Beginning, and the overall area of the plat in acres. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. <b>Location of monuments</b> , shown in reference to existing official monuments or the nearest established ¼ section corner, including the bearings and distances to such reference points or monuments.                   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. <b>Boundary lines</b> of the subdivision shall be enclosed with one continuous bold line, showing approximate dimensions (bearings and distances).  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. <b>All public streets</b> within the plat conform to the applicable minimum design standards set forth in the Land Development Code and Technical Specifications.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. <b>Building setback lines</b> along public and private streets with dimensions in feet.   |



- | Yes                                 | No                       |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. <b>Platted and unplatted land</b> adjacent to the plat boundary. Include identification of adjacent platted subdivisions and unplatted tracts with external bearings and distances of adjacent plats and property owners for a distance of not less than 400 feet. Include original plat names if replatted. Exterior dimensions shall coincide with adjoining plats unless differences are noted |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. <b>Lots and tracts</b> identified clearly, with blocks numbered or lettered boldly and clearly in the center of the block, and lot dimensions with bearings and distances, and area in square feet.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. <b>Note on plat</b> indicating intended ownership, purpose, and maintenance responsibilities for any parcels labeled as tracts.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. <b>Existing streets, driveways, trails, and sidewalks</b> which abut, touch upon or extend through the subdivision and/or streets located within 400 feet of the plat. The description shall include types and widths of existing surfaces, right-of-way widths, and dimensions of any bridges and culverts, access points and signals.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. <b>Location of existing open space, alleys, parks, streams, ponds, vegetation,</b> or other similar features within plat, and whether they are to be retained or removed.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 15. <b>Location of existing buildings</b> and structures within 200 feet of the plat.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 16. <b>Existing utilities</b> , including sanitary sewer, force main, water main, gas mains, culverts and storm sewer pipe, street lights, electric conduits, and invert elevations of sewers at points of proposed connection.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. <b>Topography</b> of the area contained in the plat and within 20 feet of the plat boundary shown by 2-foot contour intervals and proposed preliminary grading. Contour lines shall be legible but not overpowering.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 18. <b>Proposed street network</b> , including right-of-way, bearings, tangents, and horizontal and vertical curvature data (use of flow direction arrows and percent of grade is permitted at preliminary for vertical curve data, unless otherwise specified/required) along the centerline of each street.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 19. <b>Proposed sidewalks</b> and/or trail locations including proposed widths.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 20. <b>Proposed utilities</b> , including approximate location of sanitary sewer, water main, street lights, storm sewer, detention and treatment facilities.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 21. <b>Existing and proposed easements</b> with dimensions. Existing easements shall be labeled with book and page number.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 22. <b>Any area within a federally designated floodplain.</b> Location, stations, and elevations of the 100-year floodplain within the plat and 100-year elevations at rear lot corners adjacent to FEMA and Shaded Zone X floodplains. The source of the floodplain information shall be clearly labeled (example: FIRM, Map #20091C0041D, September 27, 1991).                                      |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 23. <b>Stream corridor boundary</b> and dimensions.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 24. <b>Intersection site distance analysis.</b>   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25. <b>Copies of all pertinent exception documents</b> , or a copy of a current American Land Title Association (ALTA) survey, or both.   |

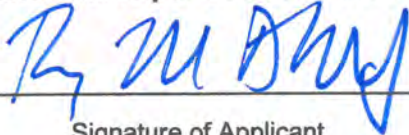
**Written explanations** for any items not checked or checked "No" (attach additional sheets, if necessary):

5. No existing covenants and restrictions exist.

7. No encroachment is proposed within a FEMA or Shaded Zone X 100-year floodplain.

9. It was determined during pre-application meeting that the proposed layout adheres to proper street separation. A traffic impact study will need to be performed whenever Kill Creek Road is extended to the south.

I hereby submit all information required for preliminary plat review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted. By signing this application, I acknowledge that all public streets and public infrastructure within the plat shall conform to the applicable minimum design standards set forth in the Gardner Municipal Code and the Technical Specifications.



Signature of Applicant

12/13/2019

Date





### OWNER AFFIDAVIT

I/WE Sunrise Investments Corp., hereby referred to as the "Undersigned", being of lawful age, do hereby on this 24th day of October, 2019, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize Renaissance Infrastructure Consulting (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the City of Gardner, regarding Tract B (see attached Exhibit) (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process. I/We further attest that I/We agree to be legally bound by the application made on our behalf by applicant and the resultant action upon such application by the City of Gardner.
3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

B. Miller  
Owner

\_\_\_\_\_  
Owner

STATE OF Kansas  
COUNTY OF Johnson

The foregoing instrument was acknowledged before me on this 24th day of October, 2019, by Brian Miller

My Commission Expires: 2/21

[Signature]  
Notary Public

Notary Public-State of Kansas  
Marjorie Minnich

My Appointment Expires 2/21

---

**PROJECT NUMBER / TITLE:** Consider proposed text amendment TA-20-01 to the *Gardner Land Development Code* pertaining to Public Utility Facility – Major uses

---

**REQUESTED ACTION**

Hold a public hearing and consider text amendment TA-20-01 to the *Gardner Land Development Code* (LDC) pertaining to Public Utility Facilities – Major uses.

**BACKGROUND / HISTORY**

On August 21, 2017, the Governing Body adopted Ordinance 2550 amending the *Gardner Land Development Code* (LDC) to implement specific use standards for public utility and airport uses, as these uses were not specifically provided for in the LDC when it was adopted in 2016. Utility uses were classified as either minor or major utility uses. Currently, minor public utility uses are conditional uses in all agriculture and residential districts, and permitted uses in all commercial and industrial districts. **Major public utility uses** are conditional uses ONLY in the commercial and industrial districts.

Public Utility Facility – Major is described as “Utility services of a regional nature, including generating plants, electrical switching facilities and primary substations, water and wastewater treatment plants, and similar facilities to provide the general public with electricity, natural gas, steam, water, sewage collection, or other similar service. May include General Office or Large Office where those uses are permitted as indicated in Table 5-2.”

On January 6, 2020, the Governing Body initiated this potential text amendment to the LDC, directing the Planning Commission to consider revising the use provisions for Communications and Utilities to permit Public Utility Facility – Major as a Conditional Use subject to additional standards in additional zoning districts (including the agriculture district). The reason is that as the community grows, there is a need to provide public utility services to outlying areas. Based on a comparison of the adopted utility plans and future land use maps, it may be advisable that some major public utility facilities be developed on sites planned for agriculture or residential zoning.

Currently, new major public utility facilities would have to be built on land that is rezoned to a commercial or industrial district, even though the facilities would perhaps be located adjacent to agriculture or residential uses. Then, if the facility were ever decommissioned or redeveloped, the site would potentially be opened up to various commercial and industrial uses that may not be compatible with the adjacent land uses unless the property was rezoned before redevelopment.

Of additional concern, the LDC provides that nonconforming uses (that were legally initiated prior to the adoption or amendment of this Code, but would not meet the terms of the current code) may continue to exist, but may not be expanded beyond the existing area of the lot. The City's wastewater treatment plant is located on a site zoned Agriculture District near Celebration Park along W. 159<sup>th</sup> Street. Without the amendment, this facility would have to be rezoned to be expanded.

As another illustration of these implications, the Hillsdale Lake Water Treatment facility (see photo below), is surrounded by a rural residential district in Miami County. If this facility, which was originally permitted as a conditional use in the Agriculture district of Miami County, was annexed into the City of Gardner in the future, and given the equivalent zoning designation of Agriculture, it would become a nonconforming use in the City (because these facilities are currently not permitted in the Agriculture District). Expansion could then only be accommodated by rezoning to a commercial or industrial district (and approval of a conditional use permit). Maintaining the agriculture zoning designation for this facility would be more consistent with the land use intent of surrounding Miami County and ensure continued compatibility with the adjacent land uses. If the LDC were amended to permit major public utility facilities in the A (Agriculture) district, future expansions to this facility could be accommodated without the need to rezone. The plant is currently being expanded while under the jurisdiction of Miami County. Additional expansions are planned around 2027.



A new electric substation is planned south of I-35 near projected commercial areas, and could be accommodated in a commercial zoning district without an amendment to the LDC. However, this property is currently zoned A (Agriculture) District, and the contemplated amendment would allow this facility to be developed without a rezoning.

A new wastewater treatment plant is planned to be located somewhere south of I-35 and 191<sup>st</sup> street near Cedar Niles in the future, and it is anticipated that the most appropriate zoning district for that facility, considering the adjacent uses, would be the A (Agriculture) District.

Conditional uses, and their expansions, entail a public hearing and recommendation of the Planning Commission, with final approval of the Governing Body. There are ten review criteria for conditional uses which pertain to the furthering the intent of the zoning district and adjacent

[illegible]



Solar Collector – Ground Mounted	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*	C*
Public Utility Facility - Minor	C*	C*	C*	C*	C*	C*	C*	C*	P*	P*	P*	P*	P*	P*	P*	P*	P*
Public Utility Facility - Major	C*								C*	C*	C*	C*	C*	C*	C*	C*	C*
Aviation Facilities	C*																

#### Staff Comment:

*In the previous Code, public utility uses were not specifically defined, but may have been permitted as follows:*

- Permitted use (public buildings) in the less intense **commercial** districts
- Permitted use (public and private utility facilities and governmental maintenance facilities) in the **industrial** districts
- Conditional use (other publicly owned buildings and uses not specifically listed elsewhere) in the **agricultural** district
- Conditional use (any public building or land used by any department of the City, County, state or federal government) in most **residential** districts
- Conditional use (public utility, telephone exchanges, electric substations, water, sewer or storm sewer facilities, and natural, piped gas operating under government franchise and contract) in two **commercial** districts

*The above underlined text would seem to indicate that public utilities were not permitted in the Agricultural District per the previous Code since that use is specifically listed only as being permitted in other districts. However, the previous Code did not necessarily address the need or plan for utility infrastructure expansion in rural annexed areas near Gardner or in areas at the edge of the Gardner City limits.*

*At this time, there is no anticipated need to permit Public Utility Facility – Major uses in residential zoning districts, as no such facilities are planned in the residential future land use areas. Future revisions of the Comprehensive Plan or utility master plans may result in further recommendations for amendments in the future. However, at this time, staff recommends adding only the A (Agriculture) District as an additional opportunity area for these major utility uses as a conditional use.*

## ATTACHMENTS

- Future Land Use Map

## ACTIONS

The Planning Commission shall hold a public hearing on all proposed amendments. Upon conclusion of the public hearing, the Planning Commission shall prepare and adopt its recommendations in the form of a proposed development regulation and submit it with a record of the hearing to the Governing Body.

## EFFECT OF DECISION

Per State Statute, the governing body either may: (1) Approve such recommendations by the adoption of an ordinance; (2) override the planning commission's recommendations by a 2/3 majority vote of the membership of the governing body; or (3) may return the item to the planning

commission for further consideration, together with a statement specifying the basis for the governing body's failure to approve or disapprove. If the governing body returns the planning commission's recommendations, the planning commission, after consideration, may resubmit its original recommendations with their reasoning, or submit new and amended recommendations. Upon the receipt of such recommendations, the governing body, by a simple majority, may adopt or may revise or amend and adopt such recommendations by ordinance, or the governing body need take no further action on the item. If the planning commission fails to deliver its recommendations to the governing body following the planning commission's next regular meeting after receipt of the governing body's report, the governing body shall consider that inaction on the part of the planning commission as a resubmission of the original recommendations and proceed accordingly. The proposed amendment shall become effective upon publication of the adopting ordinance.

### **RECOMMENDATION**

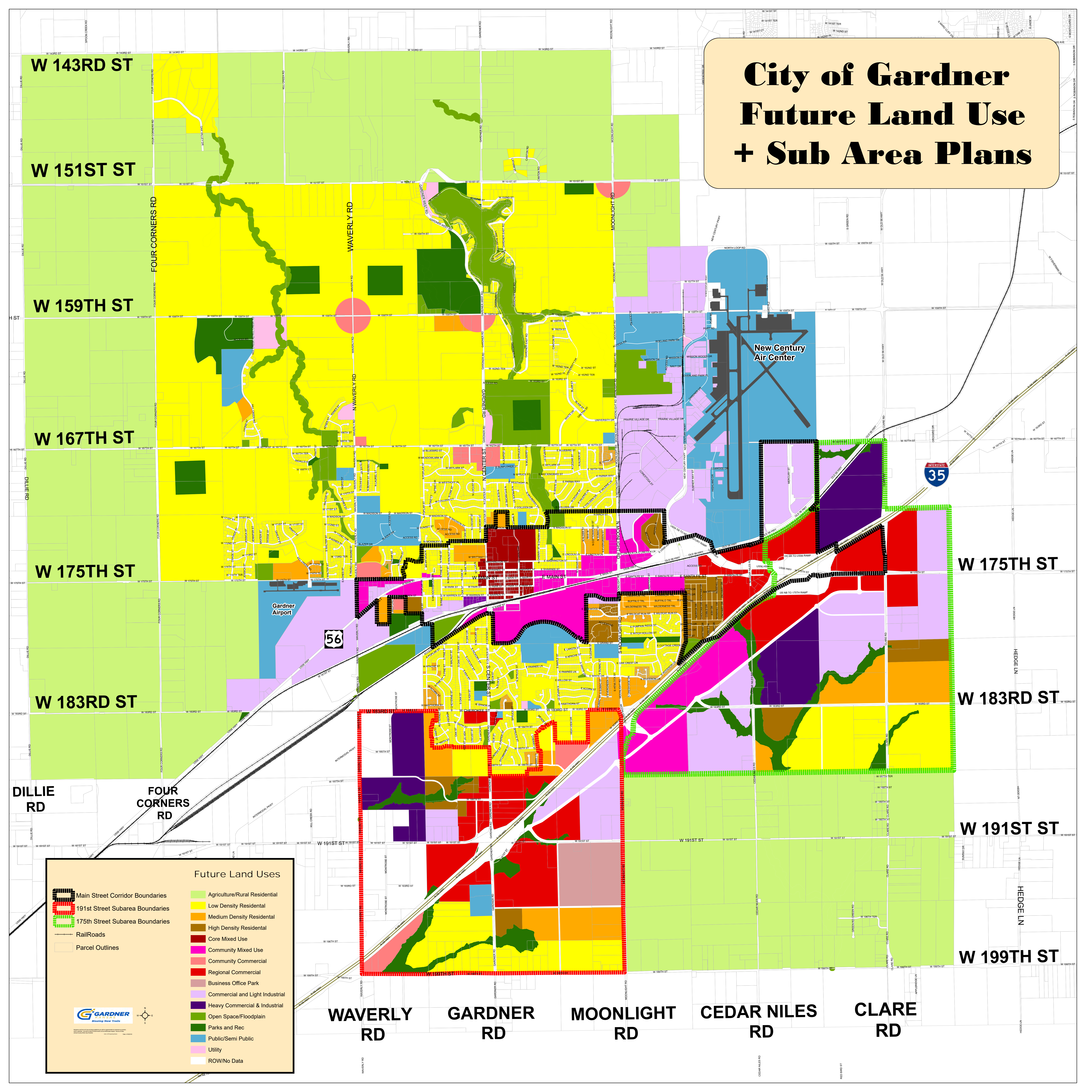
Staff recommends approval of TA-20-01 as presented in the January 28, 2020 staff report.

### **Recommended Motion for TA-20-01:**

The Planning Commission recommends that the Governing Body approve text amendment TA-20-01 to the *Gardner Land Development Code*, revising the use provisions for Communications and Utilities to permit Public Utility Facility – Major as a Conditional Use subject to specific use standards in the additional zoning district of A (Agriculture) District as presented in the January 28, 2020 staff report.



# City of Gardner Future Land Use + Sub Area Plans





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**PROJECT NUMBER / TITLE:** Initiation of text amendments to various sections of the Land Development Code to address rural context and character.

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**REQUESTED ACTION**

Initiate potential text amendments to various sections of Title 17 Land Development Code of the Gardner Municipal Code enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.

**BACKGROUND / HISTORY**

The *Gardner Land Development Code* (LDC) was adopted on June 20, 2016, and became effective on August 1, 2016. Since that time, the City of Gardner has experienced growth in new areas of the community. Subarea plans were adopted for the areas south of I-35 in subsequent years. Some of these properties that were under the zoning jurisdiction of Johnson County have since been annexed into the City.

The subarea plans include a goal to maintain rural character in existing areas until the time that municipal services and market factors allow urban densities to develop. The plans call for residential development patterns such as conservation or cluster development to preserve larger areas for conservation, open space, habitat, regional water management, and agriculture use. The LDC was developed to facilitate a more urban context, and may need to be revised based on preservation of a more rural context in some areas of the expanding community.

**STAFF ANALYSIS AND RECOMMENDATIONS FOR REGULATORY CHANGE**

Staff has identified the following issues that may need to be addressed in areas that are intended to retain rural character and context:

- Waiving the fee for reclassification (rezoning) of parcels that are newly annexed, provided that the reclassification is to the most similar zoning district to the previous County zoning, or is consistent with the future land use map (the City Attorney says that case law does not support reclassifying the zoning for parcels without going through the rezoning process).
- Lot split provisions for larger parcels, including a width to depth ratio. Currently, the creation of lots less than five acres triggers the plat process, and the LDC does not offer standards for the division of lots larger than this until development occurs. However, it is important to have standards for these larger lot splits so that reasonable development and access will be feasible in the future.
- Planned District/incentives for the development of conservation subdivisions that preserve large, connected natural areas and offer more compact housing patterns where appropriate utilities can be provided.
- The possible deferral of excise tax with plats where development is not yet imminent.
- Subdivision standards impacting road networks, access streets and connectivity.
- Rural street design type – address sidewalks and whether to allow new gravel roads.
- Requirements for private roads with public access.

- Rural open space types and requirements.
- A frontage type that addresses rural character.
- Potential building types or building type modifications for rural context.
- Accommodation of rural livestock fencing and customary accessory buildings.
- Rural outdoor storage and vehicle parking.
- Review of use standards with the context of this area in mind.
- Review of building materials and design standards for use within the rural area.
- Buffer and screening requirements.
- Stormwater requirements.
- Property maintenance pertaining to vegetation.

### **ATTACHMENTS**

None

### **RECOMMENDATION**

Staff requests that the Planning Commission initiate amendments to all applicable sections to address issues as presented in the January 28, 2020 staff report or as subsequently presented with the goal of addressing rural context and character.

### **Recommended Motion:**

The Planning Commission initiates text amendments to multiple sections of the Title 17 Land Development Code of the Gardner Municipal Code to address issues as presented in the January 28, 2020 staff report, or as subsequently presented, enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.



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**PROJECT NUMBER / TITLE: Presentation and discussion of major concepts in the draft *Gardner Destination Downtown Plan***

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### **BACKGROUND**

In April of 2018, the Governing Body approved Comprehensive Plan amendments to incorporate the *Gardner Main Street Corridor Plan* and *Gardner Main Street Market Analysis*. This plan provides specific policy guidance for the Main Street Corridor from the west boundary at Waverly Road, continuing eastward along US-56/Main Street to the I-35 interchange, extending north to Madison Street and just south of the railroad tracks, including properties abutting E. Santa Fe Street. This Sustainable Places Plan was largely funded through the Planning Sustainable Places program with the Mid-America Regional Council. It focuses on the big picture and crafting a vision that integrates transportation, land use and the environment while engaging the community in a collaborative dialogue.

The *Gardner Destination Downtown Plan* is the second level of planning in the Planning Sustainable Places program, and was also largely funded through that program. It focuses on project development and implementation activities for a smaller study area of Downtown so that implementation projects can move closer to readiness for preliminary engineering. This plan also includes meaningful public engagement. The premise behind both projects is to build on the role of the corridor as a major vehicular transportation thoroughfare and facilitate its evolution to support multi-modal transportation options and vibrant public spaces that are attractive for redevelopment and revitalization efforts.

The *Gardner Destination Downtown Plan* focuses on civic infrastructure and streetscape improvements in an 8-block area of Downtown from Center Street on the west to Sycamore Street on the east, E. Washington Street on the north and E. Warren Street on the South, but including Cornerstone Park. This plan offers a streetscape master plan with concept plans and visualizations for a highway median, bike boulevard, streetscape amenities, and other street improvements such as crosswalks, bump-outs, ADA infrastructure, sidewalks and traffic signal modifications. The plan includes recommendations for improving public and private parking areas and establishing a downtown mobility hub where users can switch between modes of transportation. It offers concept plans and renderings for new civic green spaces near City Hall, and improvements at Cornerstone Park.

Public engagement activities began with an all-day tour of civic spaces and market facilities in six locations around the KC metro area, including Downtown Overland Park, Kansas; Linden Square in Gladstone, Missouri; Downtown Liberty, Missouri; Uptown Market in Independence, Missouri; Downtown Lees Summit, Missouri, and Park Place in Leawood, Kansas. Participants were able to speak to local officials and project champions about the challenges and opportunities encountered in creating these spaces. After the tour, participants gathered in a workshop to share observations and discuss the potential vision for Downtown Gardner.

The public input survey for this project had over 500 responses, representing 2.5% of Gardner's population. The highest ranked amenities with majority support for Downtown were a farmer's market, walking paths, interactive water feature, food trucks, and amphitheater. Less desired types of open space for Downtown were those related to active recreation, perhaps because this space wasn't envisioned as suitable for those purposes.

The Steering Committee from the *Gardner Main Street Corridor Plan* stayed on to lead this plan, providing continuity through the process. Additionally, new project champions were involved as part of an Implementation Committee that offered input during a workshop and “Walk ‘N Roll” tour. As part of the workshop, participants provided input on three potential visions for civic space enhancement. During the Walk ‘N Roll tour, committee members and City staff toured the project area with the intent to identify barriers to access and mobility and discuss opportunities for improvements. This input has guided the design recommendations for the street and streetscape recommendations of the plan, such as location and quantity of ADA accessible parking spaces, street improvements that can facilitate improved access to local businesses, and streetscape improvements with multiple benefits.

Potentially impacted property owners were consulted at multiple stages of the planning process along with the citizen committees to ensure that the various elements of the plan are welcome and achievable.

The project consultants, led by Confluence, will present the major concepts of the draft plan and receive Planning Commission input. Future actions include adoption of the plan by the Planning Commission and Governing Body, and amending the Comprehensive Plan to include the *Gardner Destination Downtown Plan*.

## **ATTACHMENTS**

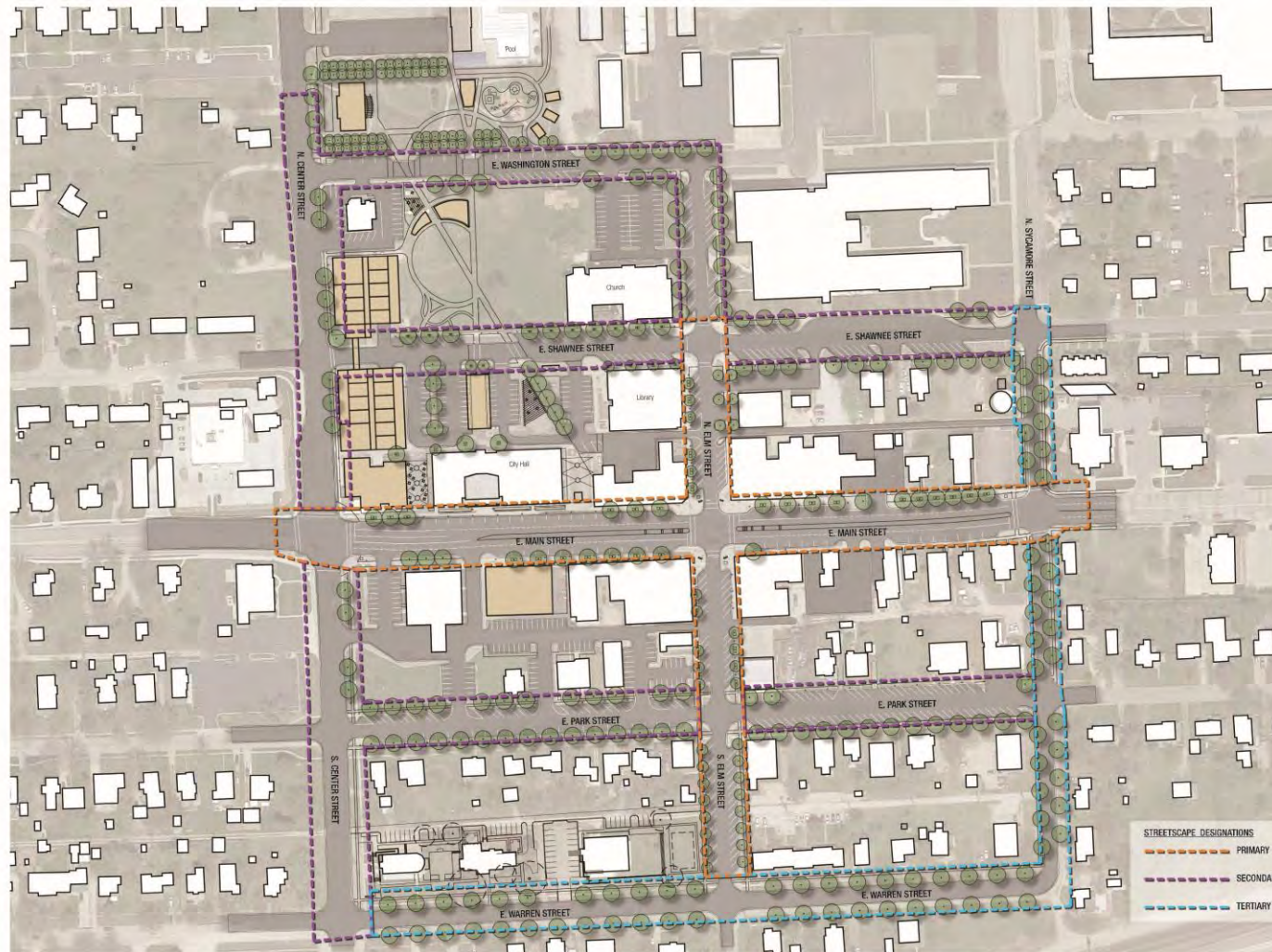
- I. Presentation slides







# Streetscape Design Strategy

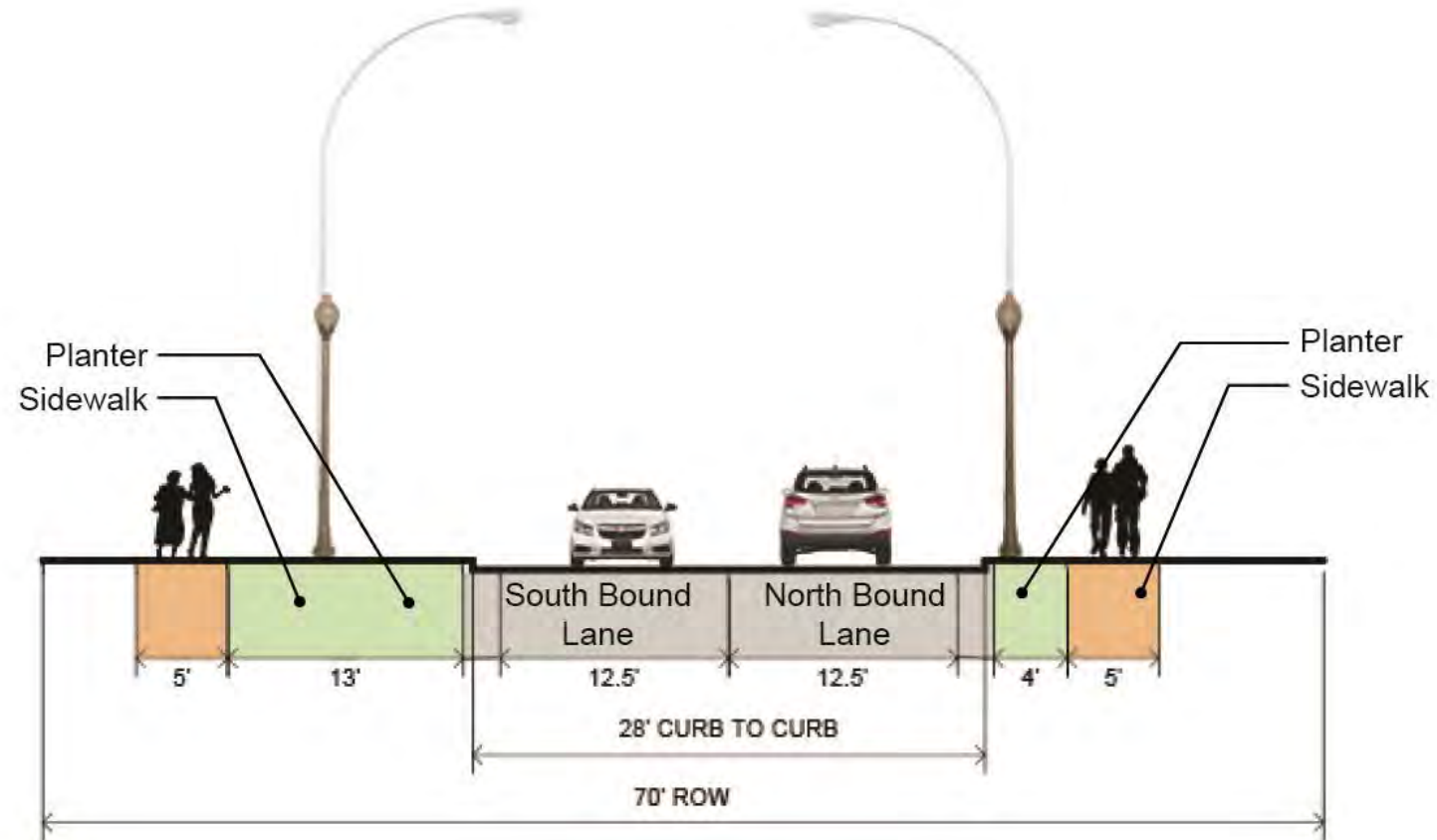


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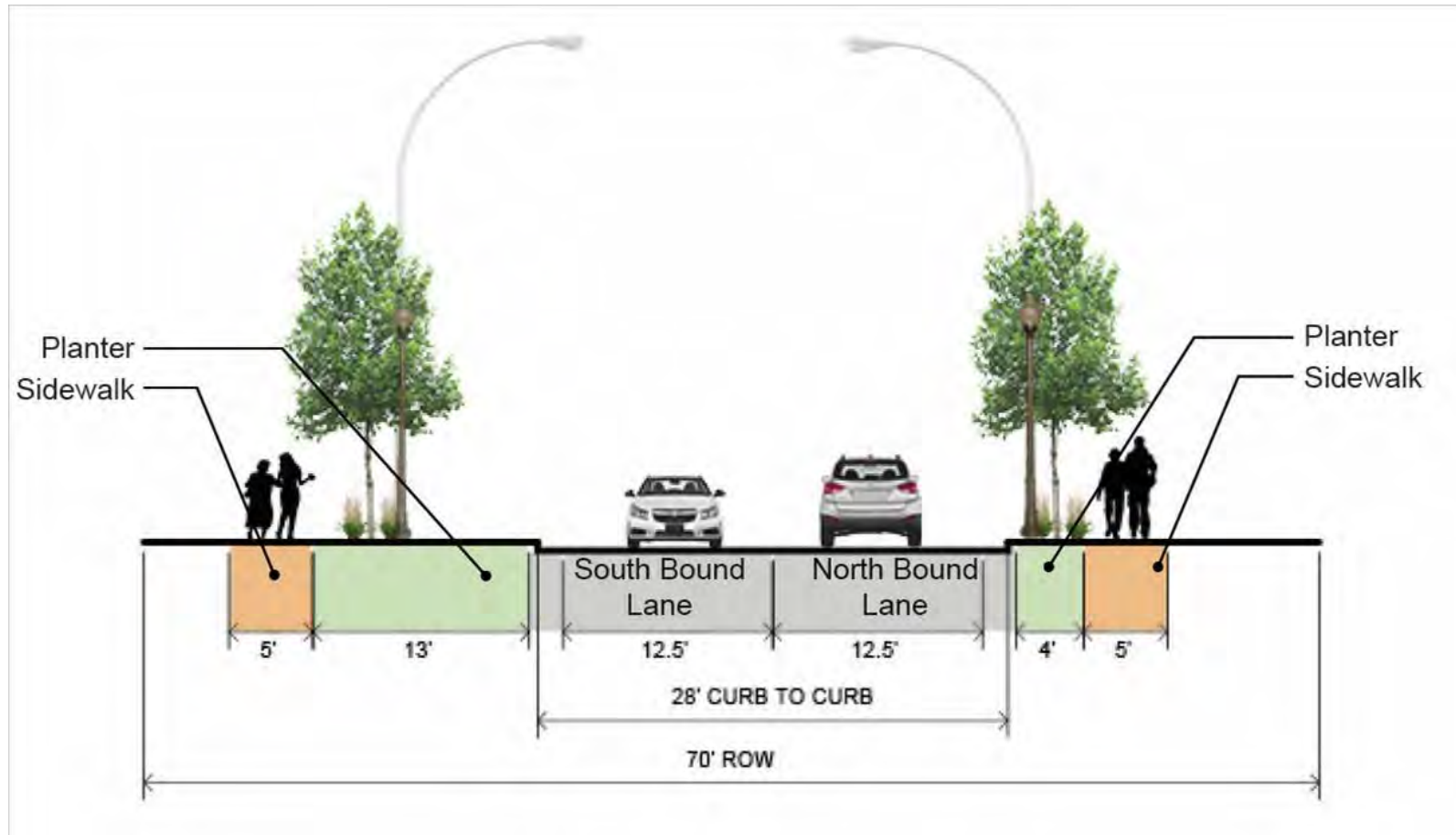
# Streetscape Design Strategy

## Tertiary Street - Existing Sycamore Street



# Streetscape Design Strategy

## Tertiary Street - Proposed Sycamore Street





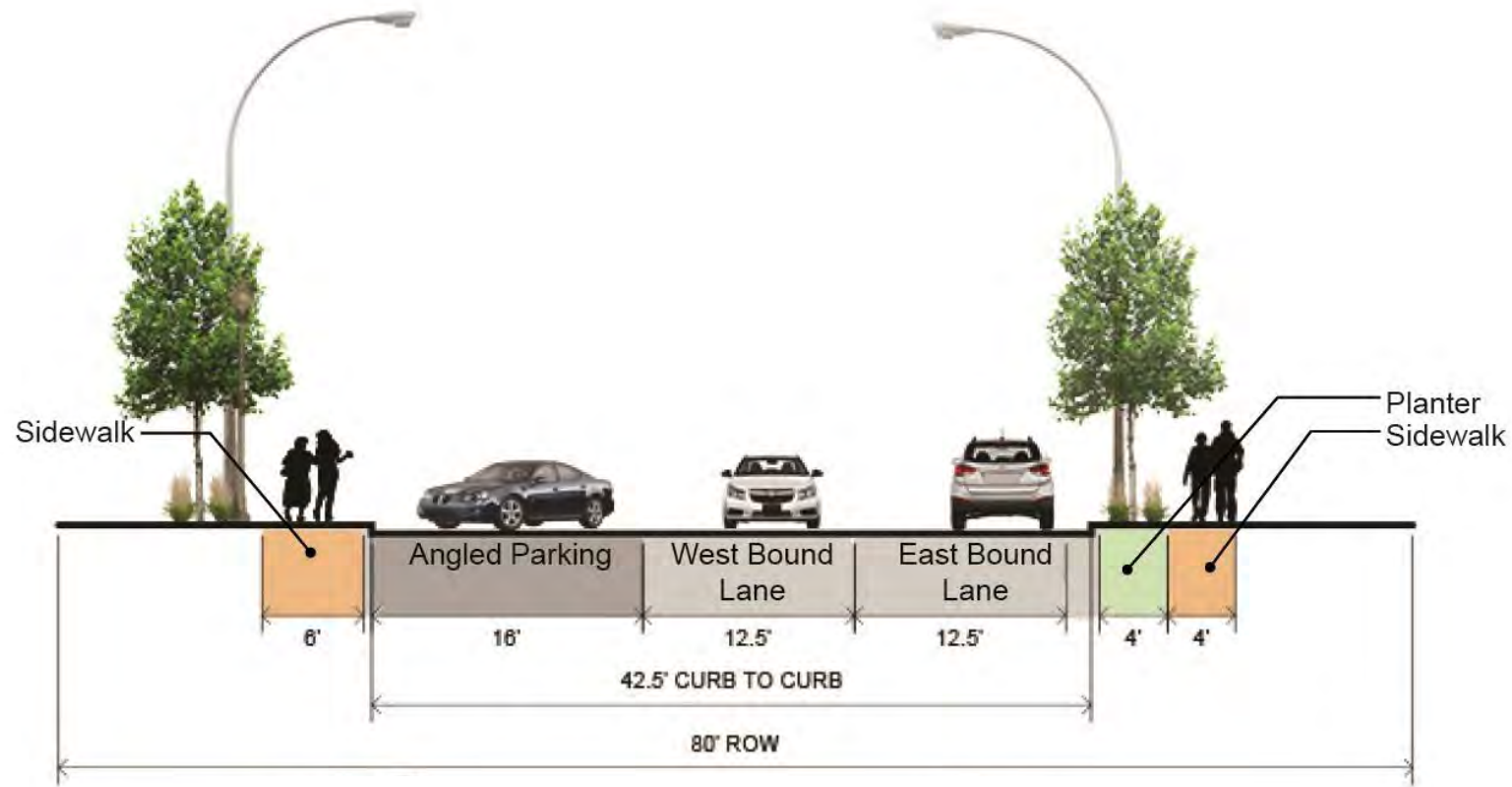
# Streetscape Design Strategy

## Tertiary Street - Proposed Sycamore Street



# Streetscape Design Strategy

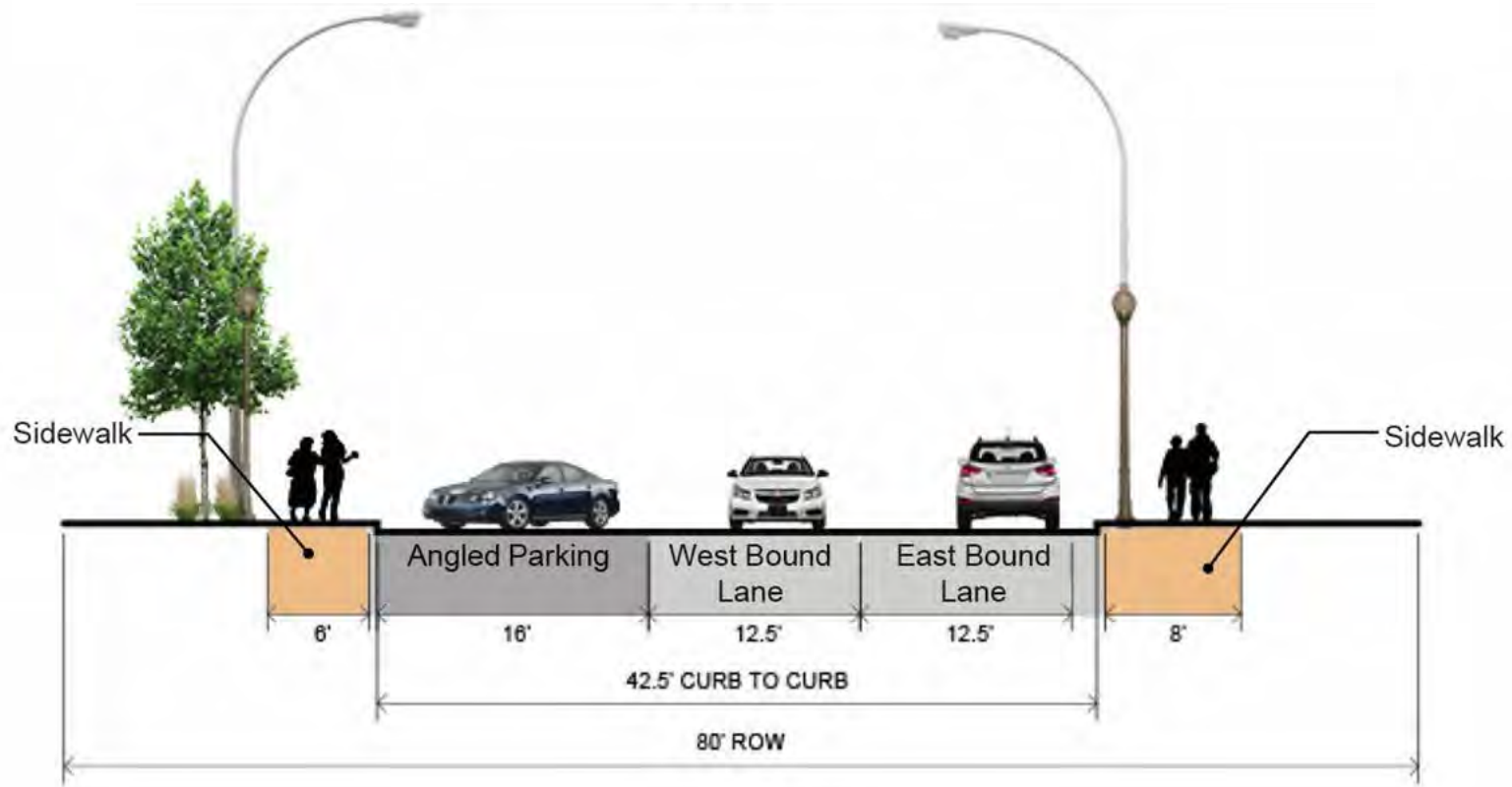
## Secondary Street - Existing Shawnee Street





# Streetscape Design Strategy

## Secondary Street - Proposed Shawnee Street



# Streetscape Design Strategy

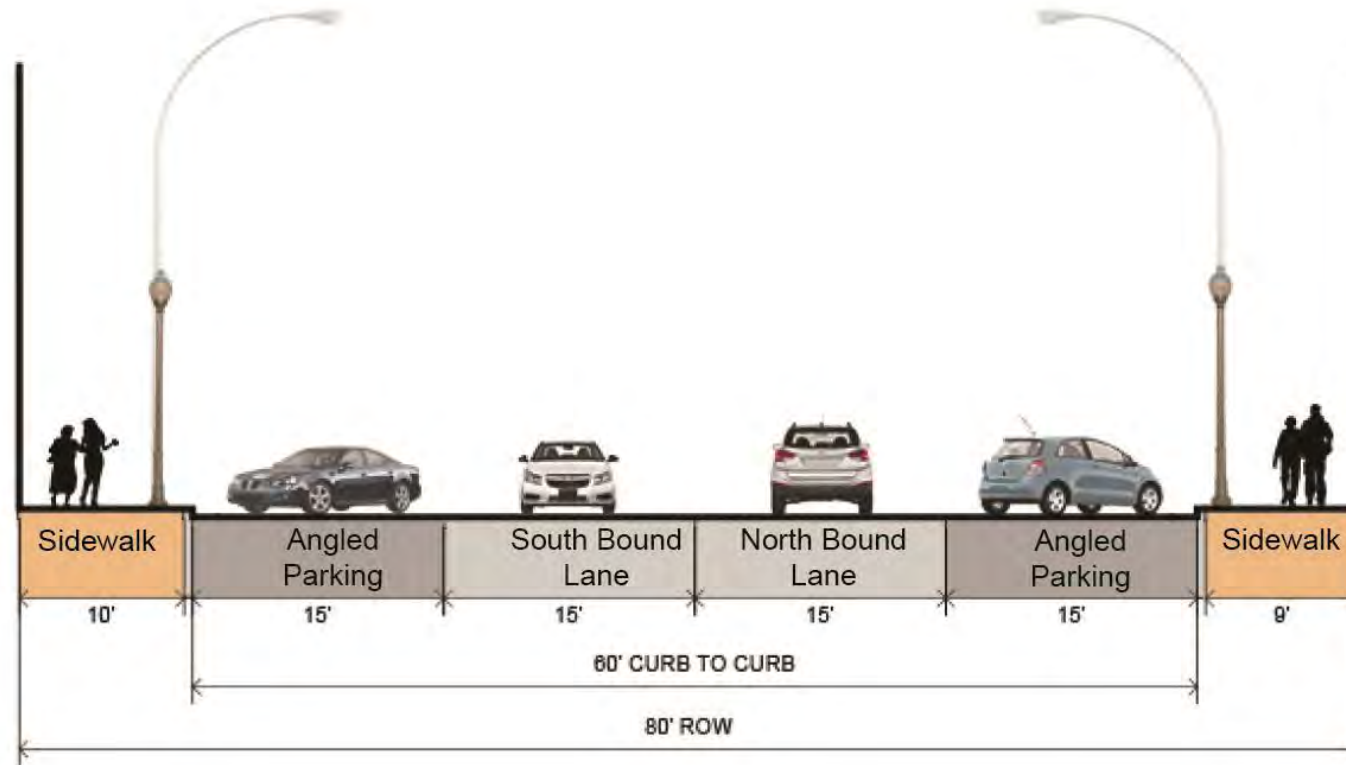
## Secondary Street - Proposed Shawnee Street





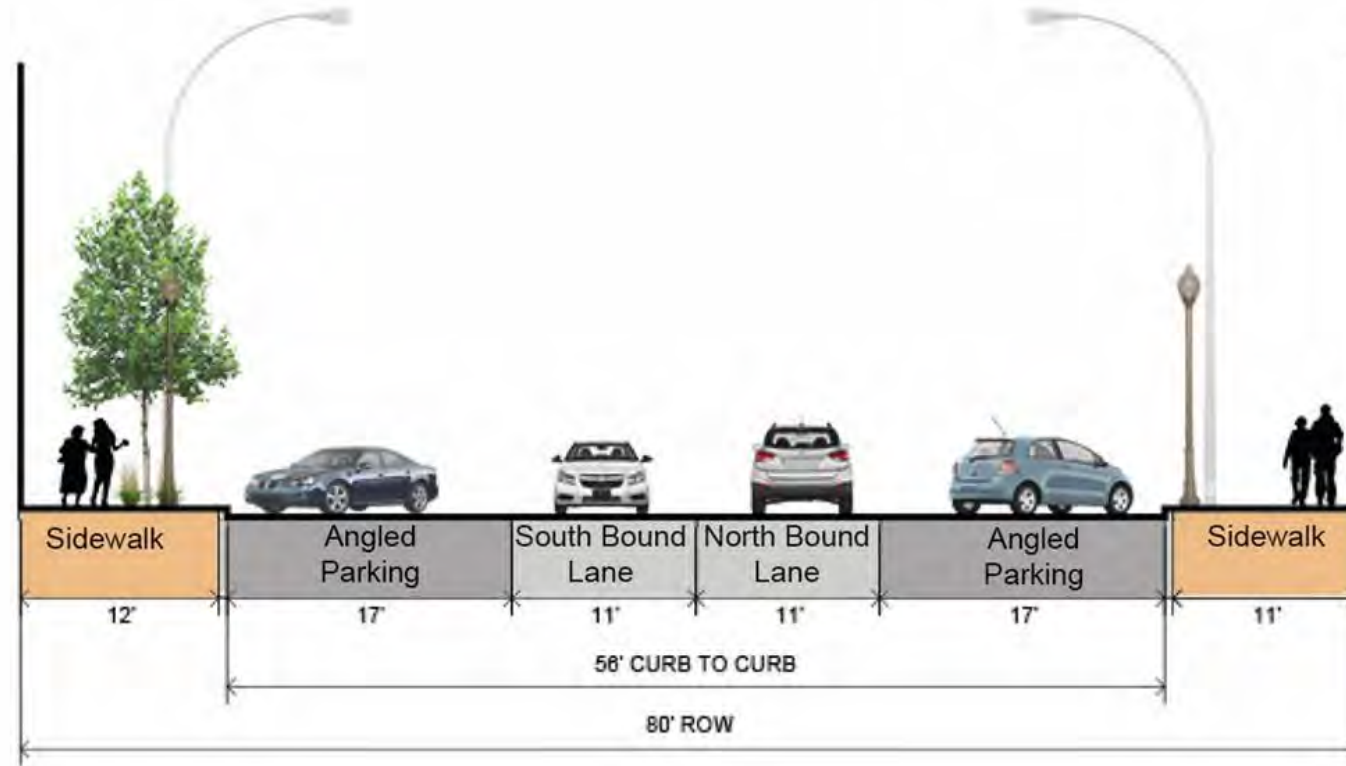
# Streetscape Design Strategy

## Primary Street - Existing Elm Street



# Streetscape Design Strategy

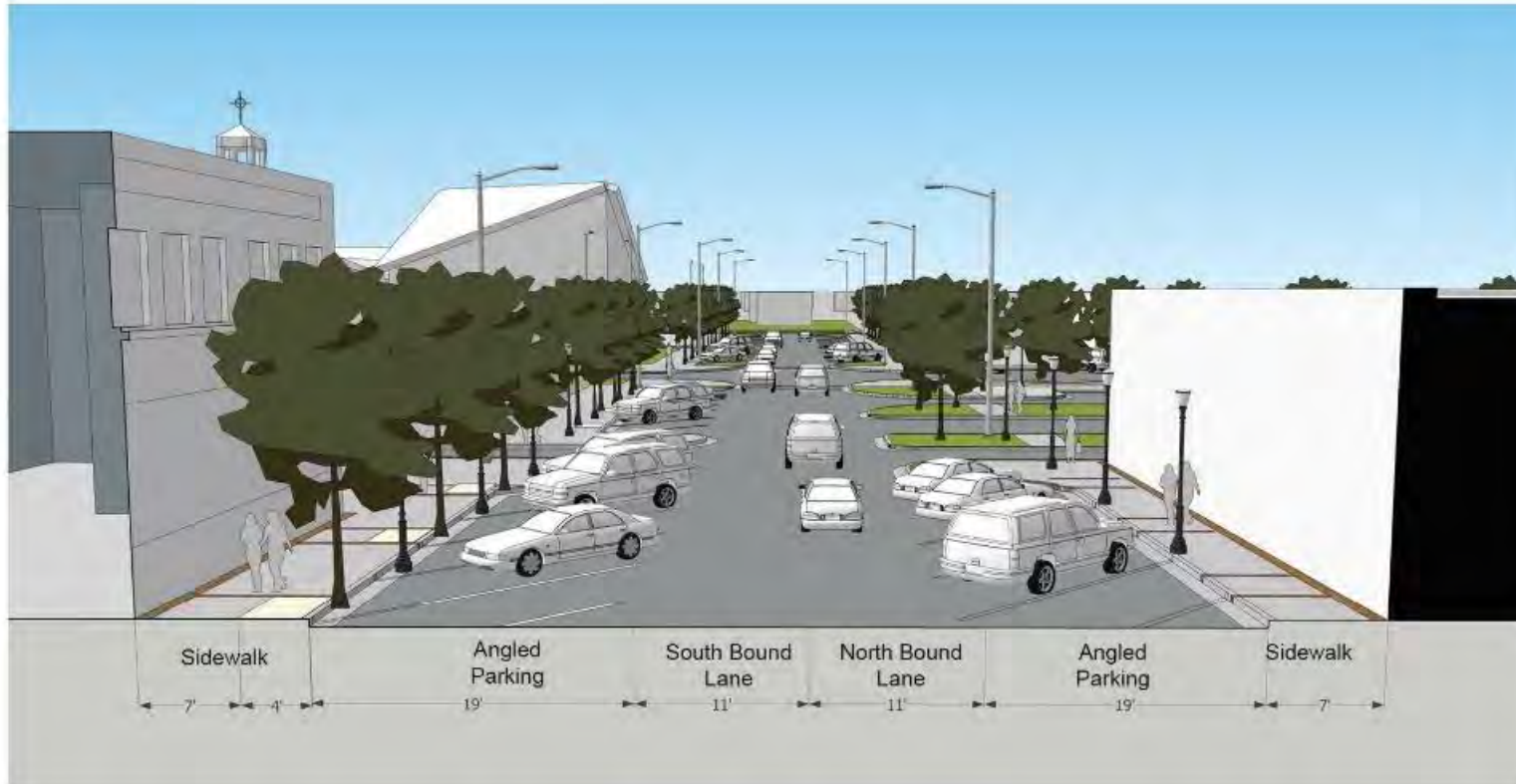
## Primary Street - Proposed Elm Street





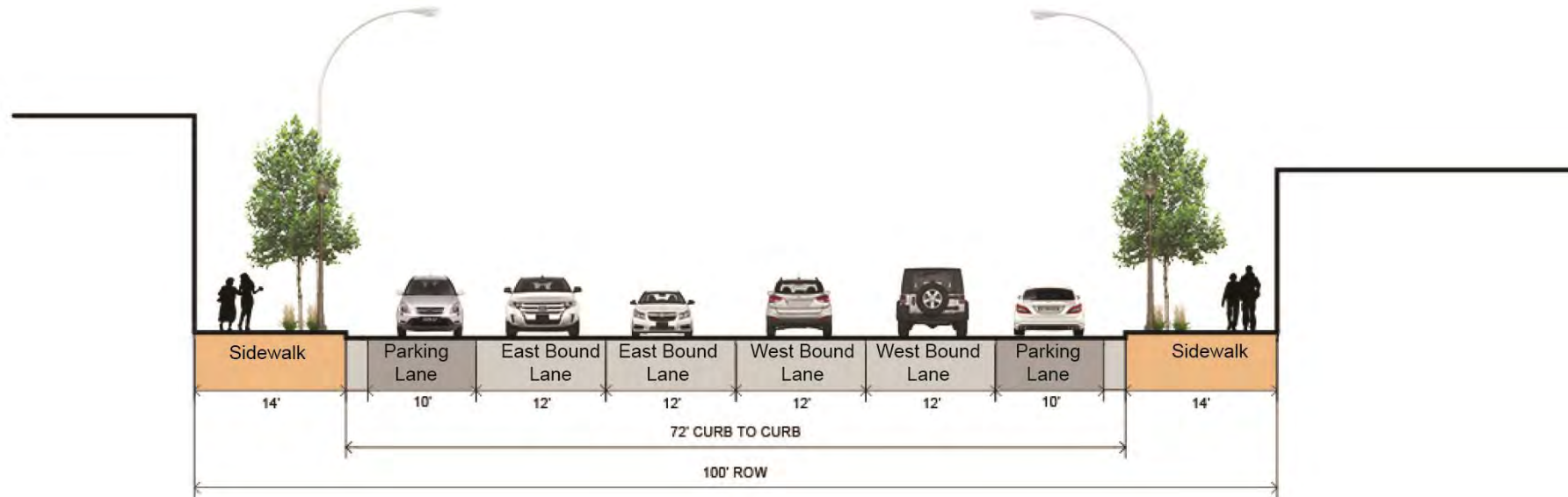
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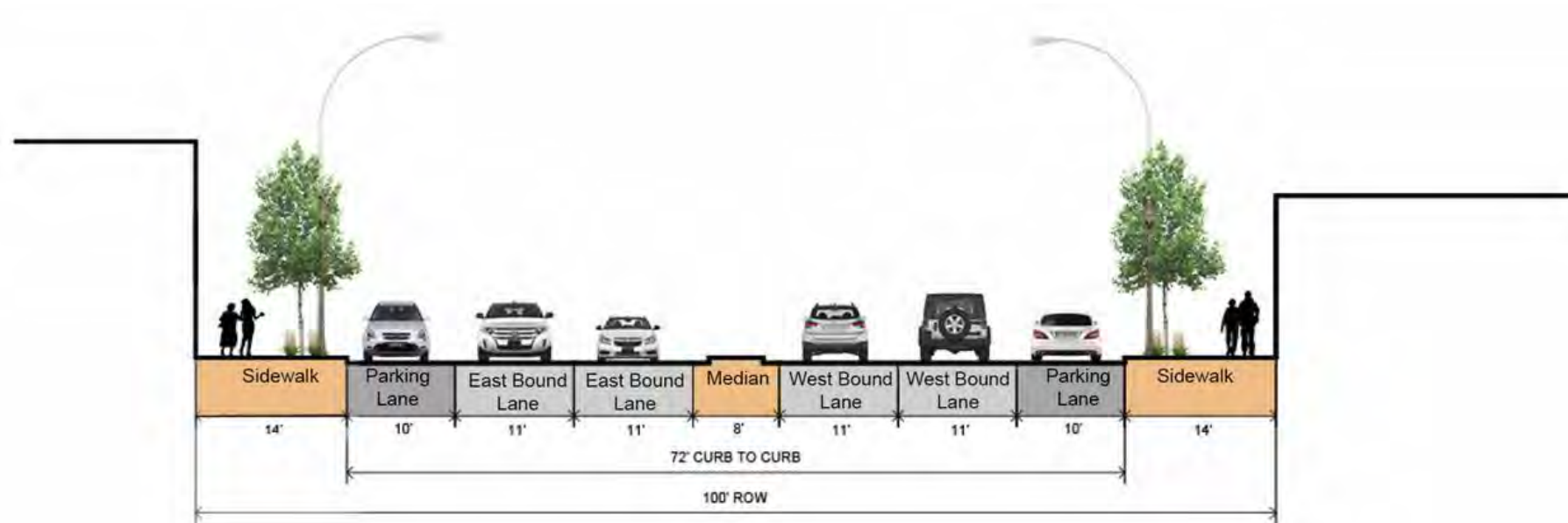
## Primary Street - Existing Elm Street





# Streetscape Design Strategy

## Primary Street - Proposed Main Street



# Streetscape Design Strategy

## Primary Street - Proposed Main Street





# Streetscape Design Strategy

## Main + Elm Intersection





# Streetscape Design Strategy

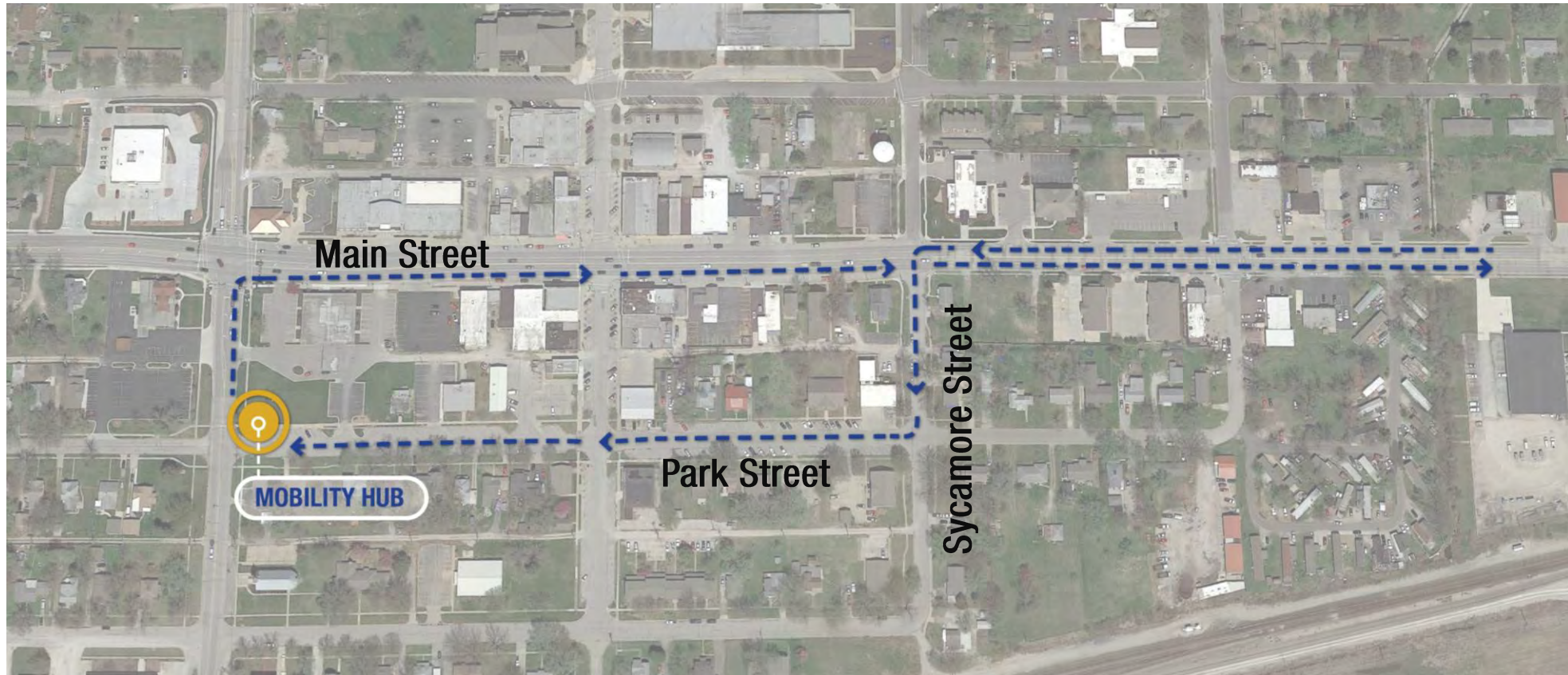
## Main + Elm Intersection





# Mobility Hub

## Proposed Bus Route



# Mobility Hub

## Mobility Hub





# Master Plan





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





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**PROJECT NUMBER / TITLE: Presentation and discussion of major concepts in the draft *Gardner Destination Downtown Plan***

---

### **BACKGROUND**

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## **ATTACHMENTS**

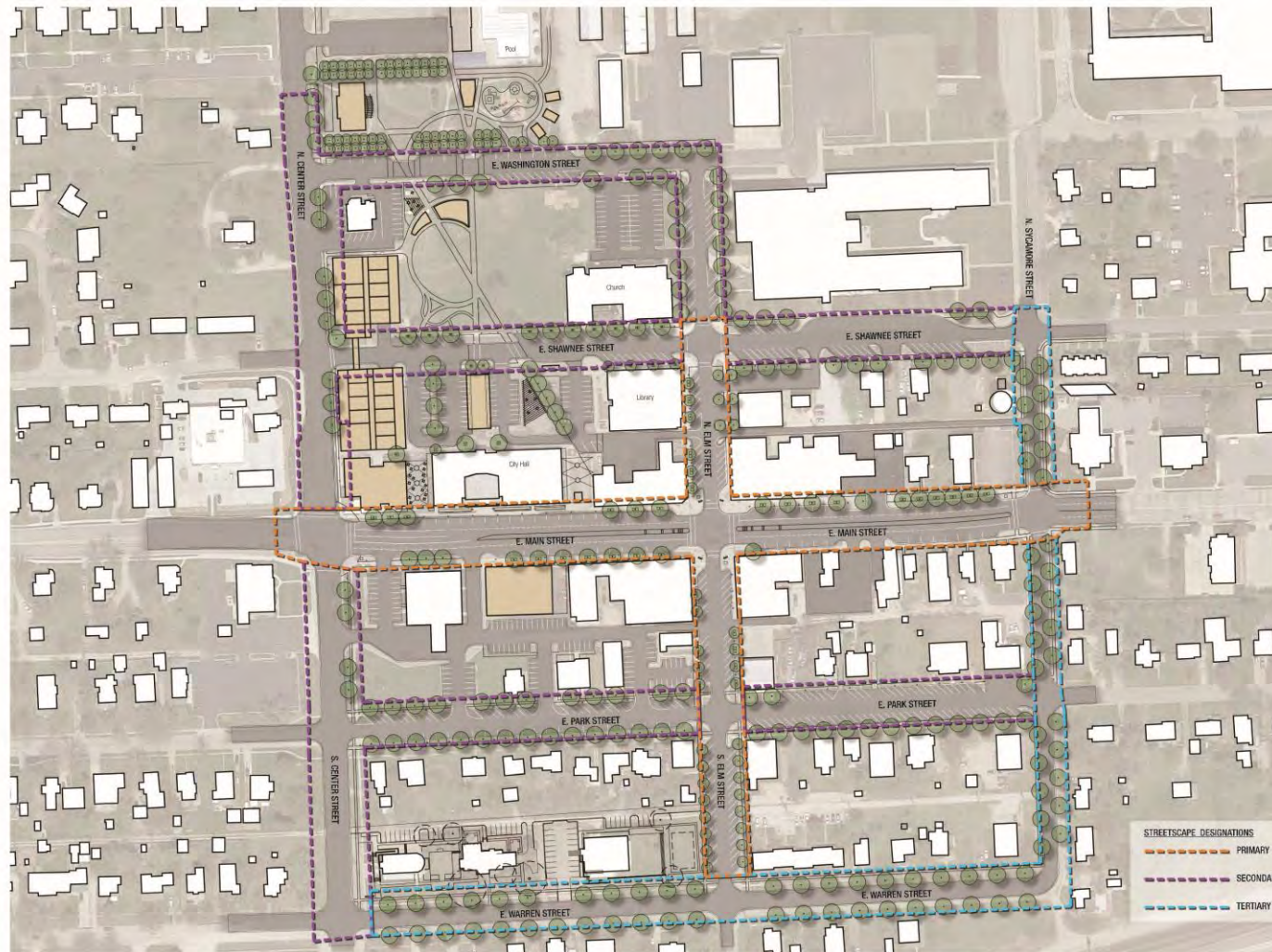
- I. Presentation slides







# Streetscape Design Strategy

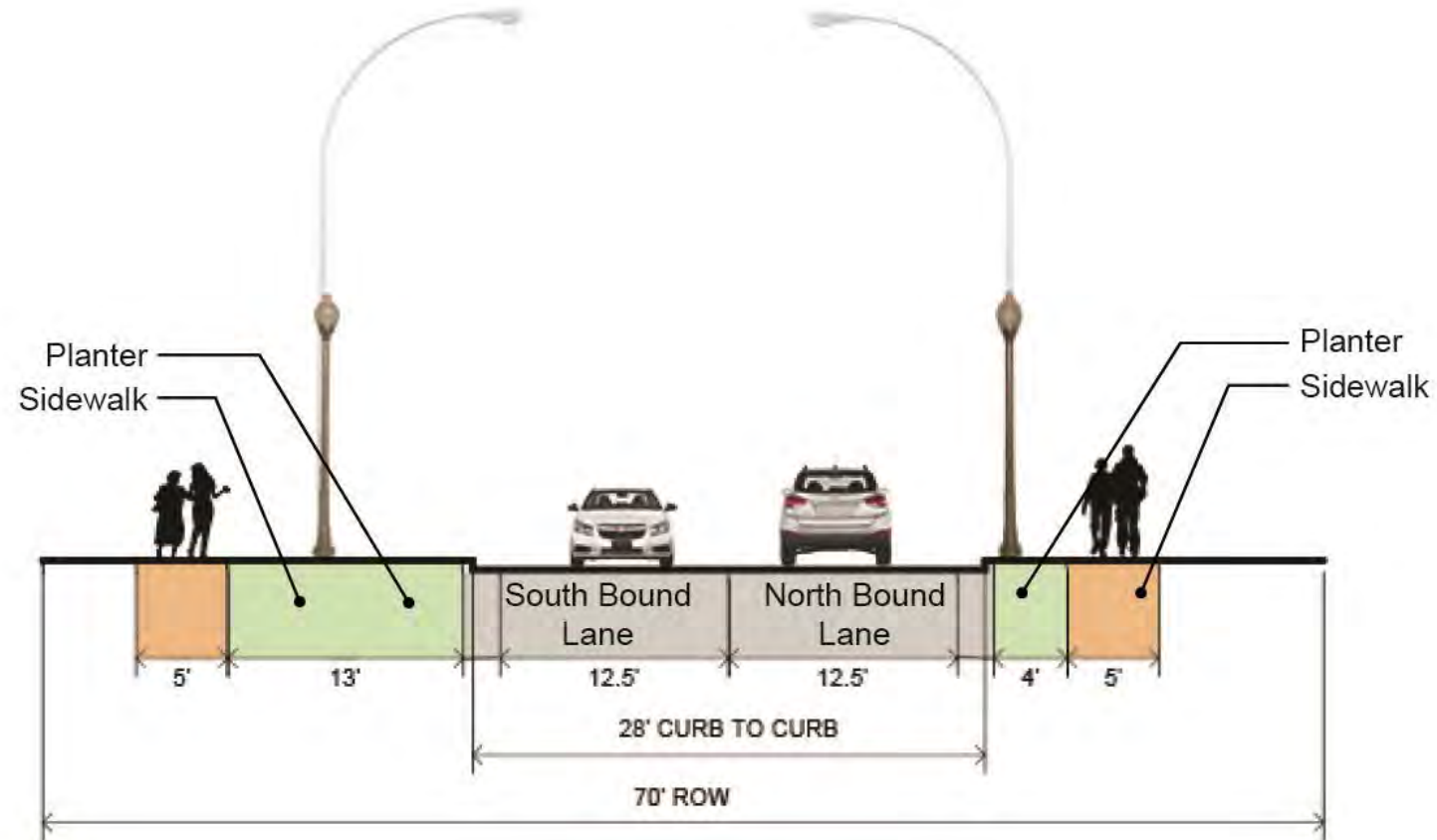


- Primary
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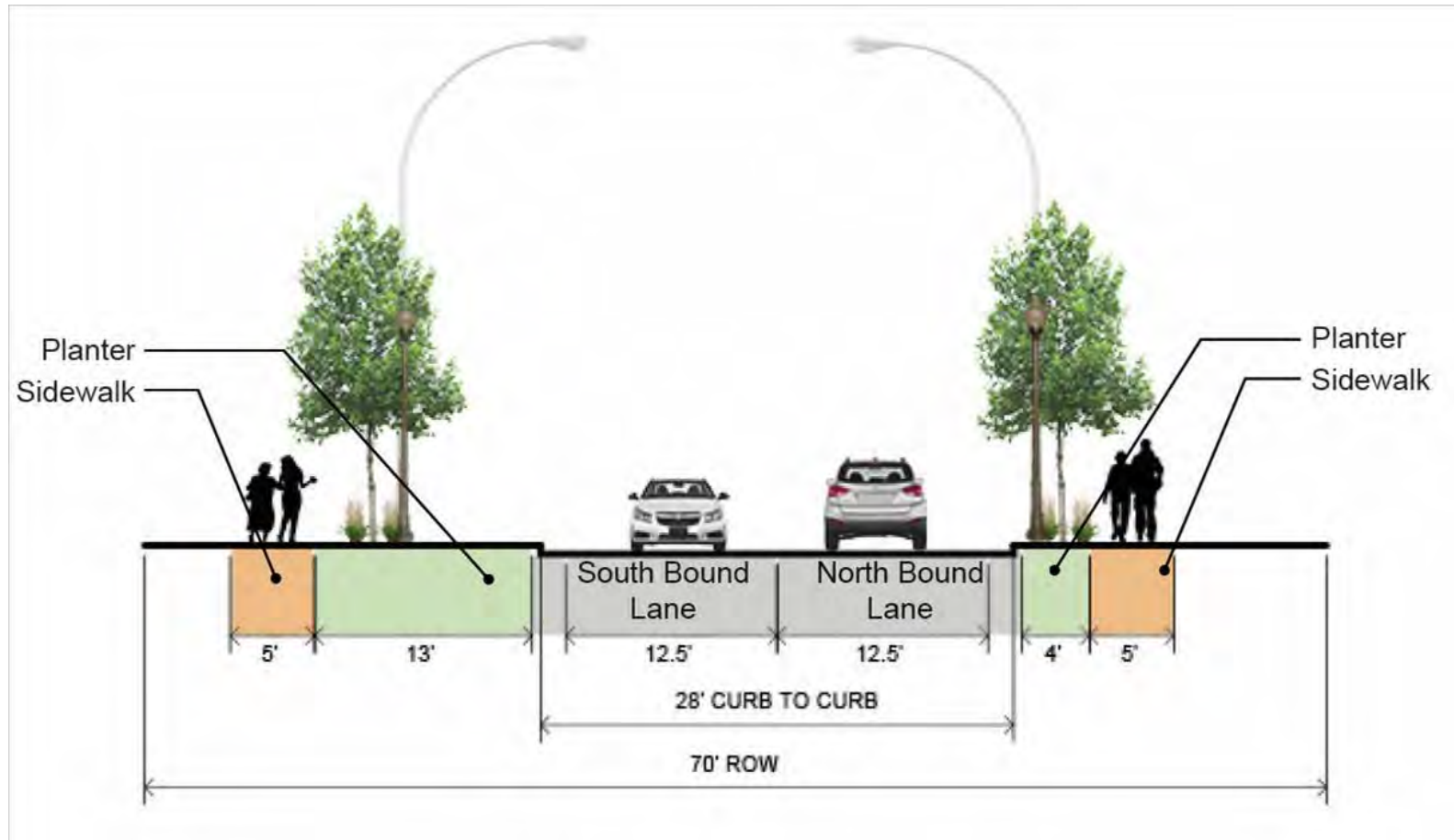
# Streetscape Design Strategy

## Tertiary Street - Existing Sycamore Street



# Streetscape Design Strategy

## Tertiary Street - Proposed Sycamore Street





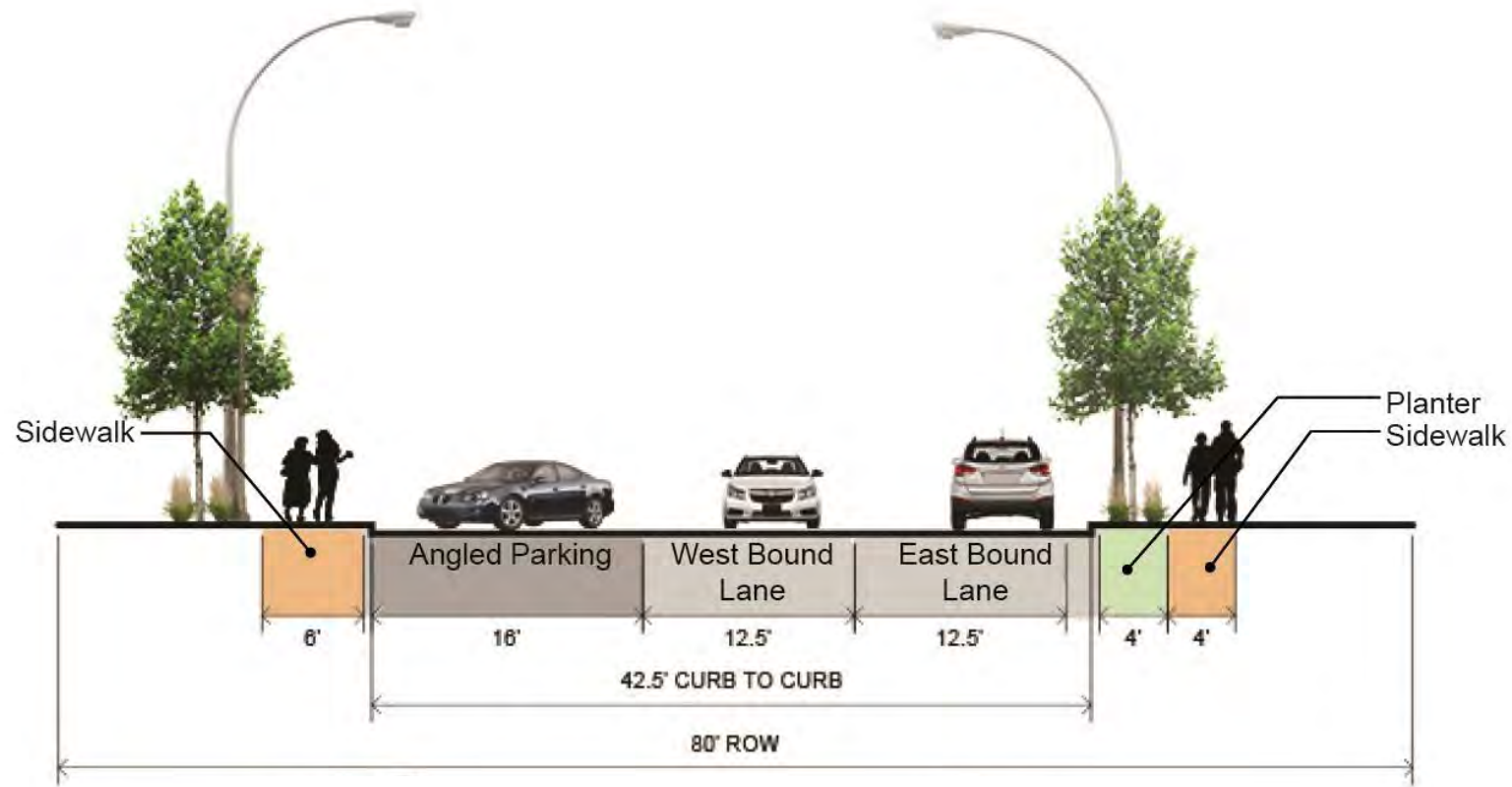
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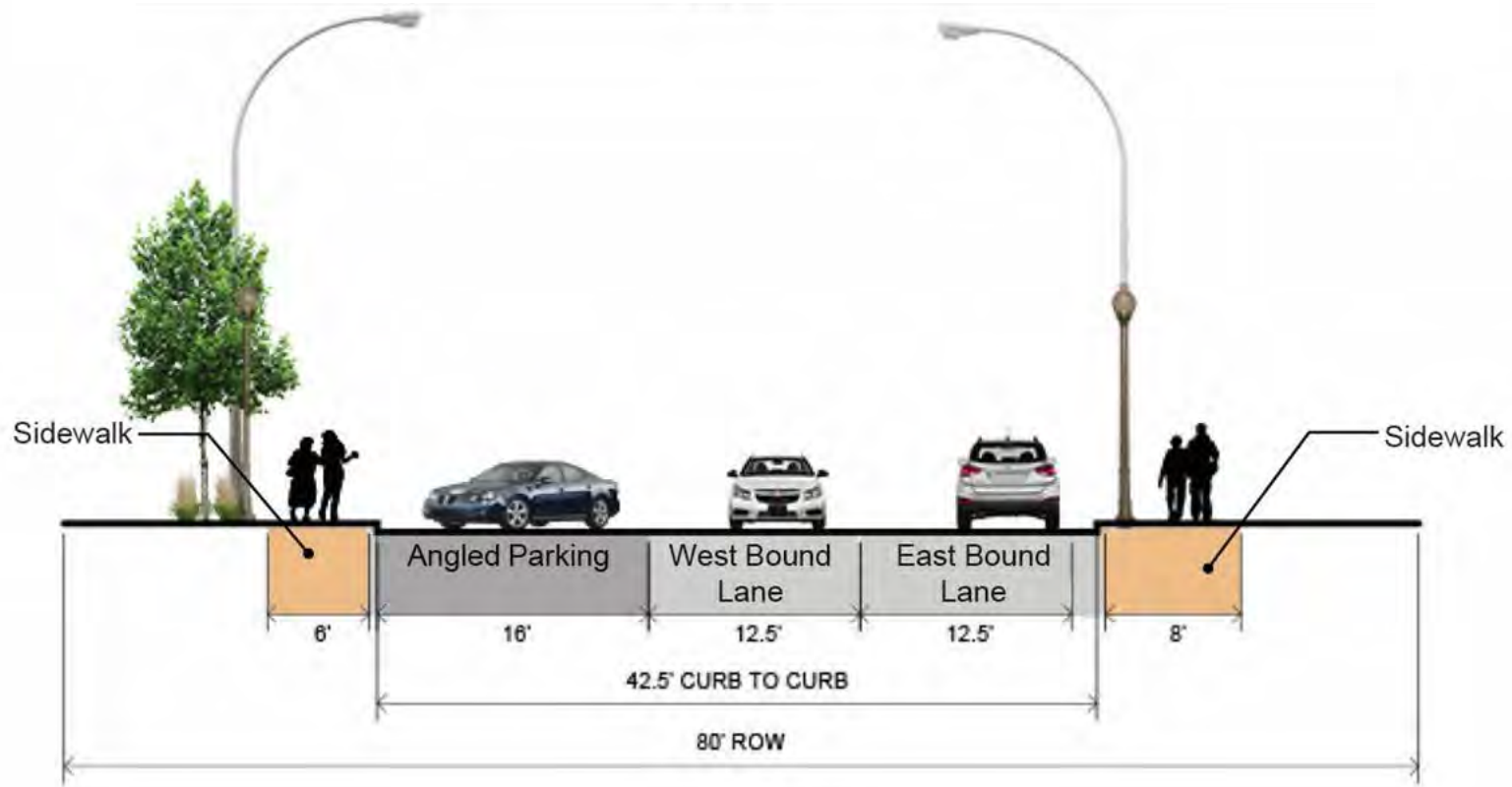
## Secondary Street - Existing Shawnee Street





# Streetscape Design Strategy

## Secondary Street - Proposed Shawnee Street



# Streetscape Design Strategy

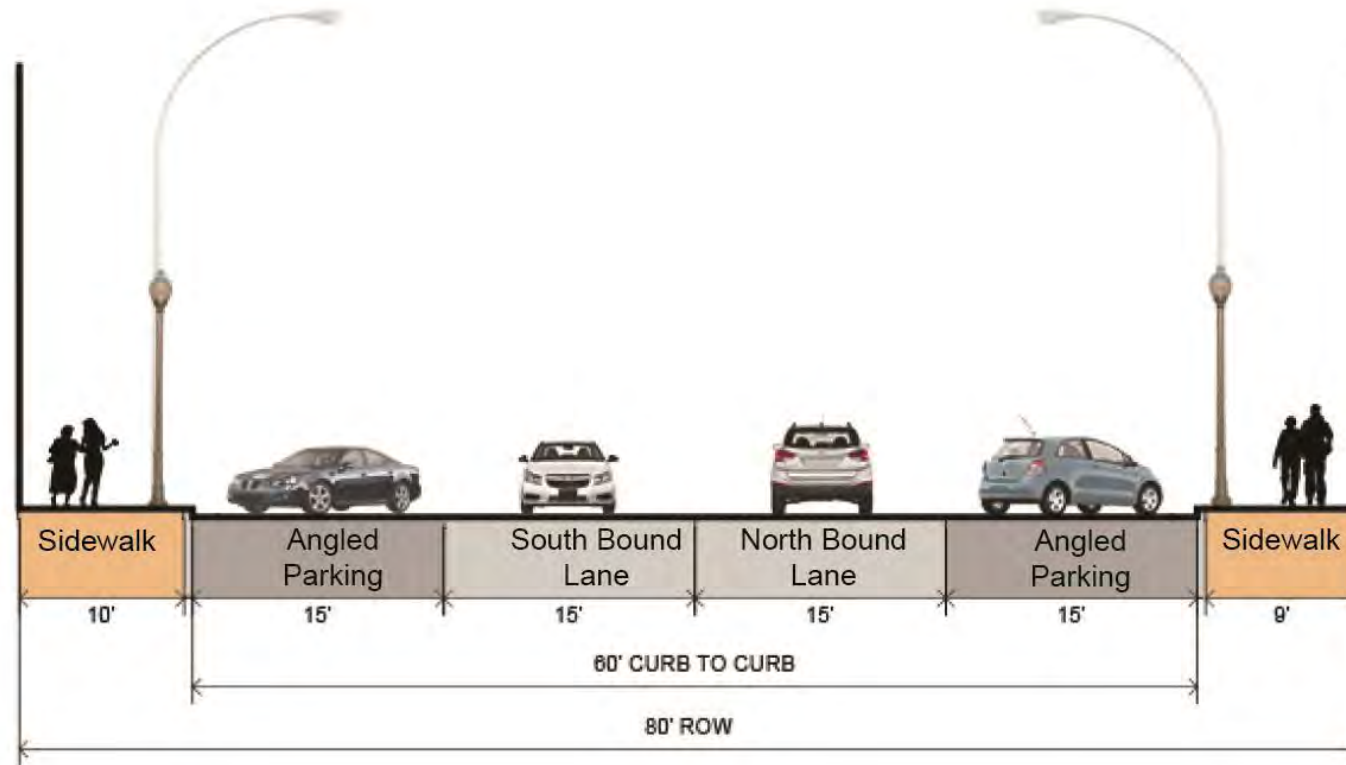
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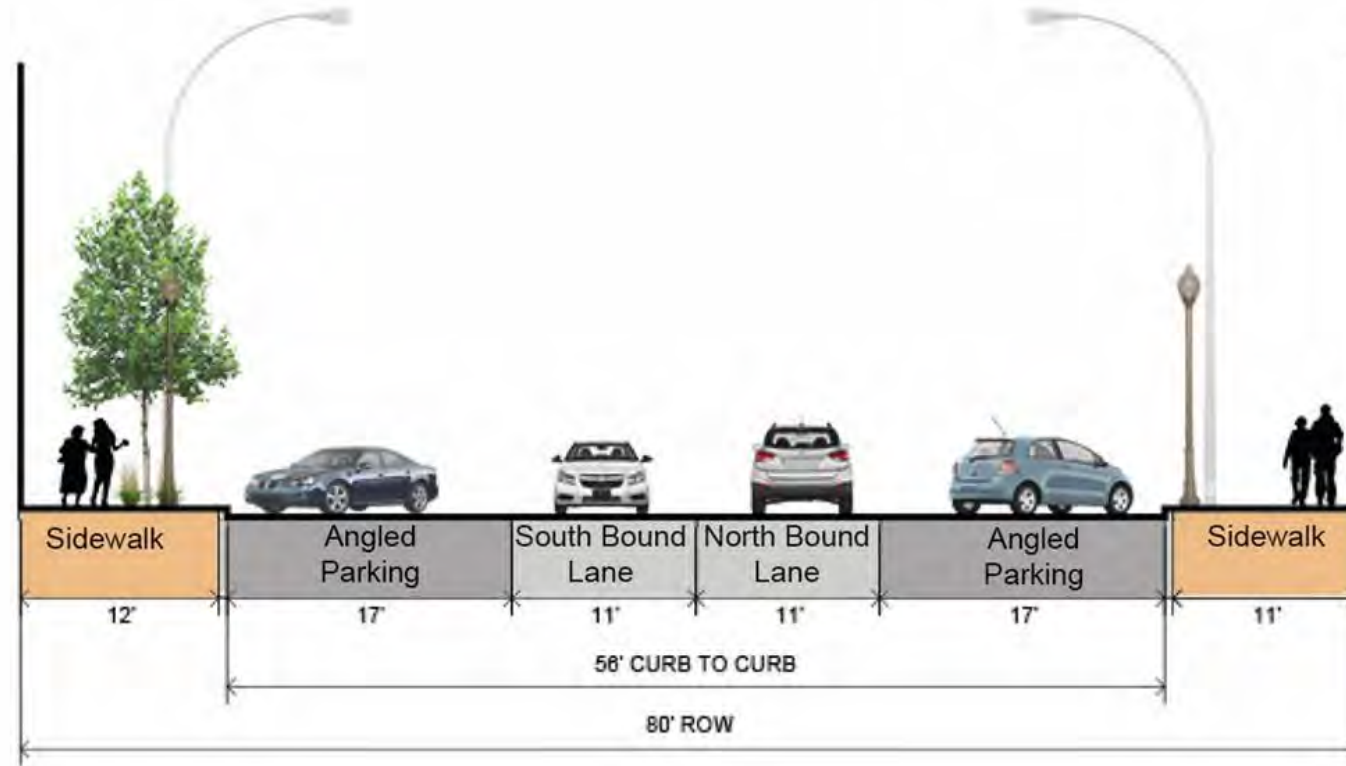
# Streetscape Design Strategy

## Primary Street - Existing Elm Street



# Streetscape Design Strategy

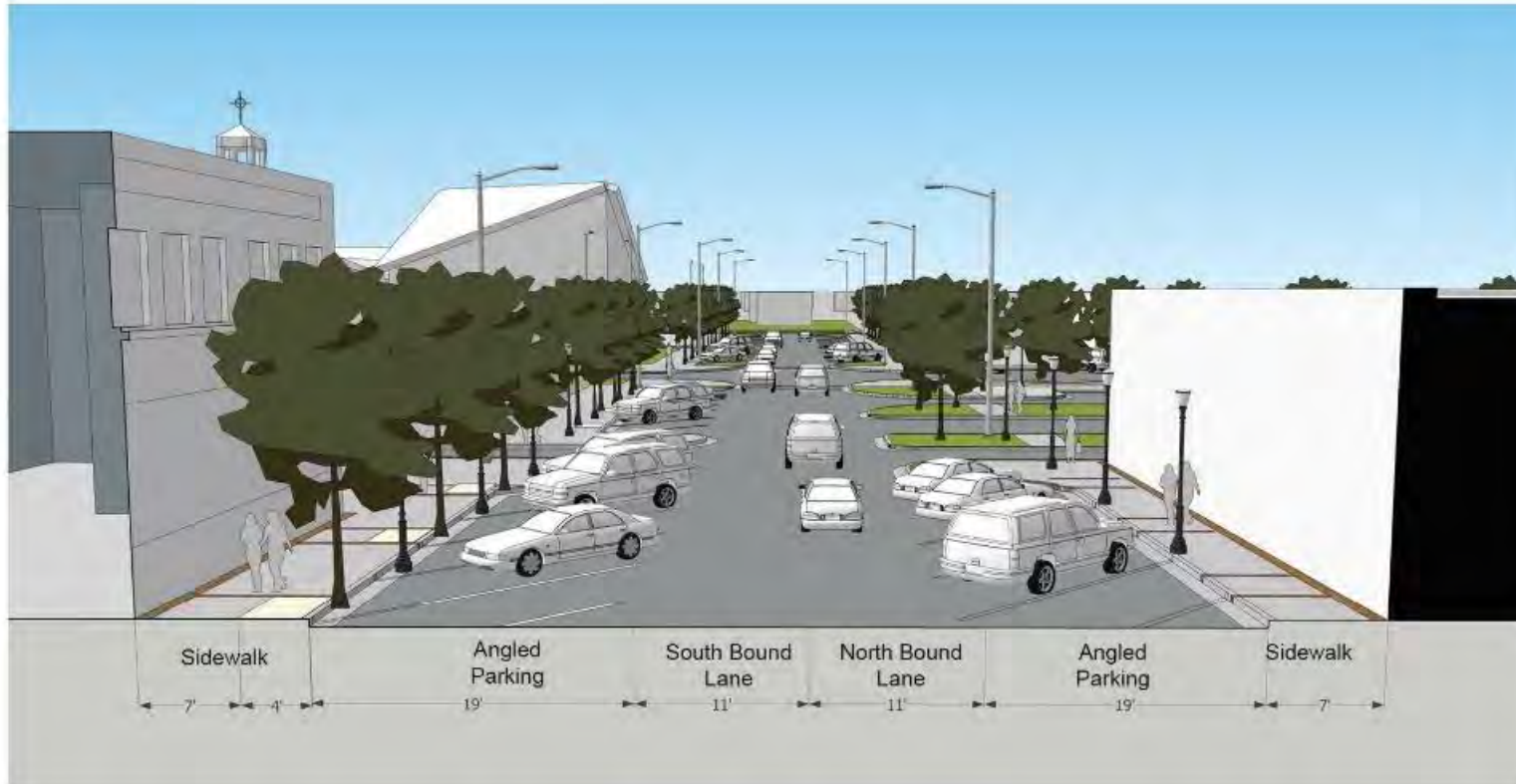
## Primary Street - Proposed Elm Street





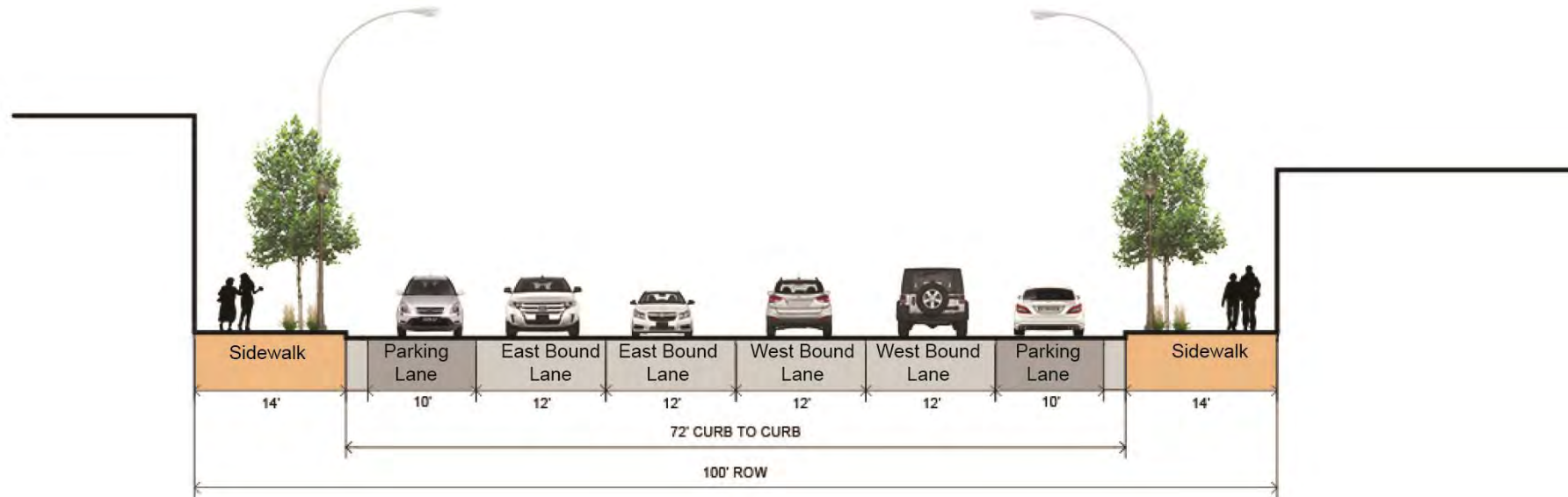
# Streetscape Design Strategy

## Primary Street - Proposed Elm Street



# Streetscape Design Strategy

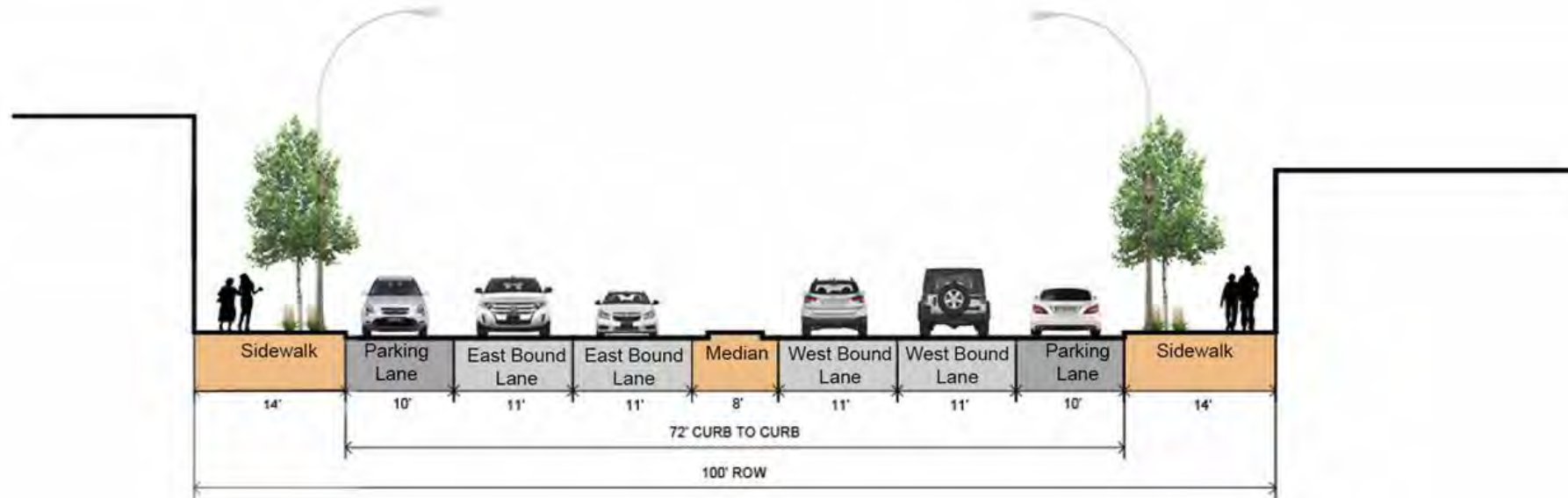
## Primary Street - Existing Elm Street





# Streetscape Design Strategy

## Primary Street - Proposed Main Street



# Streetscape Design Strategy

## Primary Street - Proposed Main Street





# Streetscape Design Strategy

## Main + Elm Intersection





# Streetscape Design Strategy

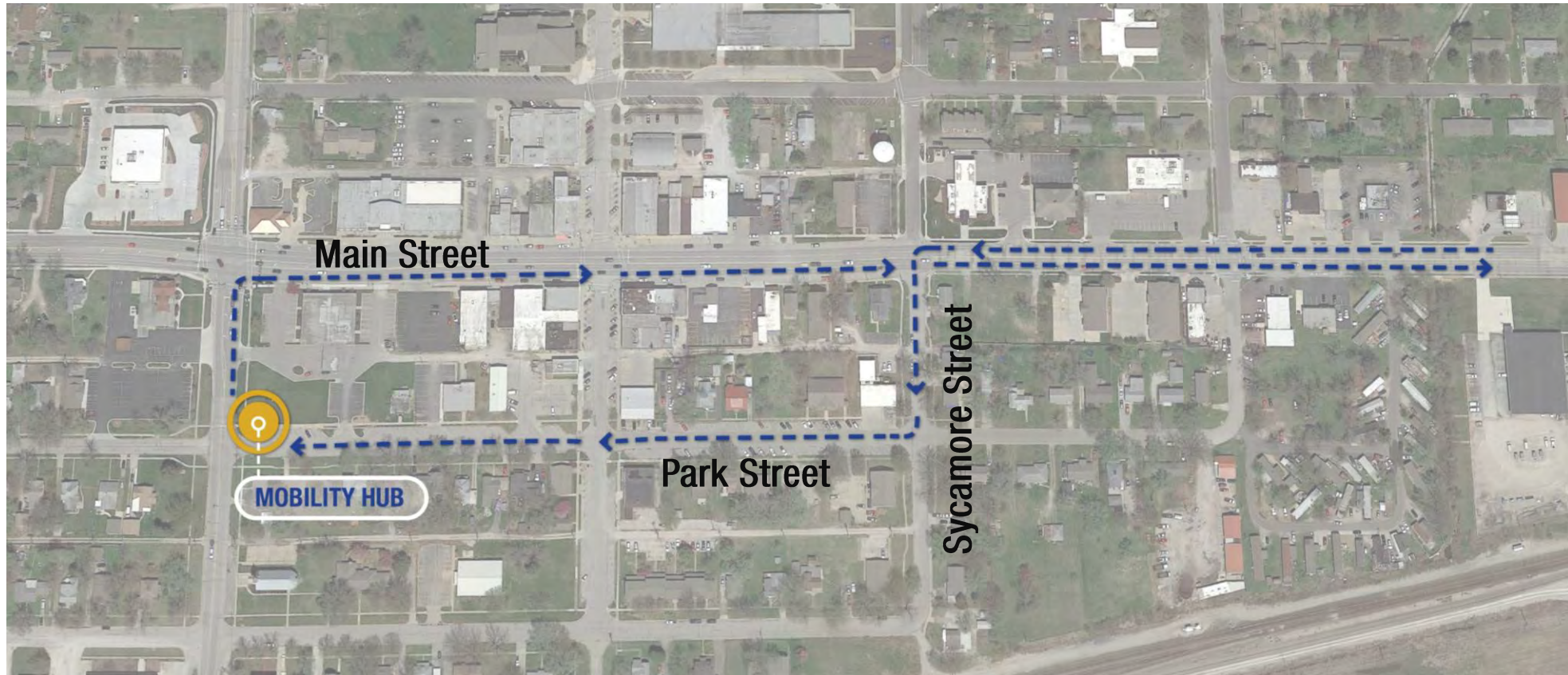
## Main + Elm Intersection





# Mobility Hub

## Proposed Bus Route



# Mobility Hub

## Mobility Hub





# Master Plan





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





# Streetscape Design Strategy





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**PROJECT NUMBER / TITLE: Annual Review of the Comprehensive Plan**

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**REQUESTED ACTION**

Staff recommends receiving the annual review of the Comprehensive Plan and initiating amendments as identified in the staff report, with draft text to be presented at future meetings in 2020.

**BACKGROUND / HISTORY**

State Statute, §12-747(d) states that at least once each year, the Planning Commission shall review or reconsider the plan or any part thereof and may propose amendments, extensions or additions to the same.

The *City of Gardner Comprehensive Plan* was adopted in September 2014. The Plan identified ongoing tasks as follows:

- “use the plan daily” to inform decision making
- “review the plan” and “update as needed” to “reflect the changing needs of the community”
- “coordinate the Plan with the CIP” (Capital Improvement Program)
- “maintain open communication” and “promote cooperation” through public engagement

The following is a brief summary of updates that have occurred since adoption in 2014:

**2015**

Addressing the short-term recommendation to “develop specific plans for priority development areas” identified as Downtown, the Johnson County Fairgrounds, Main Street Corridor, I-35 Interchange Areas, 191<sup>st</sup> Street Corridor, and the Southeast Quadrant Market-Determined Area, the City initiated the public processes to create subarea plans for the I-35 Interchange Areas, 191<sup>st</sup> Street Corridor, and the Southeast Quadrant Market-Determined Area. The resulting subarea plans reflect Comprehensive Plan amendments in 2016 and 2018.

**2016 – Ordinance 2517**

Addressing the medium-term recommendation to update plans for roadways, parks and infrastructure to be consistent with the Comprehensive Plan, in early 2016 the City initiated the creation of a Capital Improvement Element (CIE) covering a 20-year period. As part of this process, the water, wastewater, electric and transportation master plans were updated. This reflects Comprehensive Plan amendments in 2017.

In June of 2016, an amendment to the Comprehensive Plan was adopted to incorporate by reference the *I-35 & Gardner Road Interchange Subarea Plan*.

In 2016, the City submitted the 2014 Comprehensive Plan to the *Comprehensive Plan Standards Recognition Program Pilot* through the American Planning Association (APA) for review to best practices for addressing sustainability. Plan reviewers offered feedback that additional consideration be given to issues of equity, green energy, green buildings, and hazard mitigation.

To address a short-term recommendation, the Planning Commission reviewed a draft “implementation action agenda” meant to inform the City’s Capital Improvement Program (CIP) and assign project priorities, responsibilities and potential funding sources. A subset of these implementation items were assigned project priorities as part of the 2017 amendments to the Comprehensive Plan. The remainder are not yet prioritized.

#### 2017 – Ordinance 2553 and 2554

In September of 2017, the Comprehensive Plan was amended to incorporate information from the completed infrastructure and utilities master plans and population study (Chapters 2, 4, 7, 10, 11 and 12). The Action Table including all plan recommendations was incorporated as Appendix A without ranked priorities. The CIE was adopted as Chapter 12 and includes priority rankings for certain infrastructure projects.

Addressing the short-term recommendation to develop specific plans for priority development areas including Downtown and the Main Street Corridor, the City of Gardner initiated the planning process for the *Gardner Main Street Corridor Plan and Market Analysis*. The adoption of this plan reflects Comprehensive Plan amendments in 2018.

#### 2018 – Ordinance 2574, 2582 and 2596

In January of 2018, the Planning Commission initiated potential amendments to address the following:

1. Additional information created as part of various planning exercises completed since 2014.
2. Subsequent community visioning exercises indicating recommended changes to the future land use descriptions and locations to accommodate preferred development.
3. Anticipated growth outside existing City boundaries.
4. Inconsistencies between the current zoning map and the future land use map.
5. Plan recommendations that have already been addressed.

In April of 2018, the Comprehensive Plan was amended to reflect the adoption of the *Gardner Main Street Corridor Plan (MCP) and Market Analysis* (incorporated by reference), and to update tasks that were addressed with the adoption of the *Gardner Land Development Code (LDC) or MCP*. The Future Land Use Categories and Future Land Use Map were updated accordingly per those documents. The status of all items in the Action Plan was updated to reflect implementation progress. These amendments involved Chapters 1-5, 9-11 and Appendix A.

In June of 2018, the Comprehensive Plan was amended to reflect the adoption of the *I-35 & Gardner Road Interchange Subarea Plan* (incorporated by reference). In December of 2018, Chapter 12 CIE was updated.

#### 2019

No amendments were presented or adopted in 2019. However, Consultant Dave Knopick and staff led an annual review of the Comprehensive Plan in a joint work session with the Governing Body and Planning Commission in December 2018. Identified action items that were discussed but not yet initiated are presented in the next section. The City began the process of creating the *Gardner Destination Downtown Plan* to further the implementation process for the *Gardner Main Street Corridor Plan* in an 8-block area of Downtown. The adoption of this plan will reflect Comprehensive Plan amendments in 2020.



## **STAFF ANALYSIS**

**Items that were initiated as potential amendments in January 2018 but have not yet been implemented include:**

### **General updates**

1. Update Table of Contents.

### **Chapter 2 updates**

2. Update the “Community Characteristics” section in Chapter 2, in particular the existing land use information under “Land Use & Development”, zoning and vacancy information under “Land Use & Development Characteristics”, and “Existing Land Use” map to reflect community growth since 2014.
3. Update the “Transportation & Mobility” section as needed to reflect the updated *Transportation Master Plan*, including the “Existing Transportation” map.
4. After review of the market analysis of the *Gardner Main Street Corridor Plan*, consider whether to update the “Market & Demographics” section, in particular the “Retail/Commercial” section for consistency.

### **Chapter 4 updates**

5. Revisit the “Transportation & Mobility” goals and objectives for consistency with the updated *Transportation Master Plan*.

### **Chapter 5 updates**

6. Determine whether to amend the future land use designations for areas outside the *Gardner Main Street Corridor Plan* study area and subarea plan study areas based on modifications to future land use descriptions and development trends.
7. Amend the “City of Gardner Residential Areas Plan” map to incorporate more specific information for the subareas to the east of I-35. This will involve designating them as New Growth or Long-Term Growth areas, and updating the “Gardner Residential Growth Capacity Analysis” for priority and long-term growth types accordingly.
8. Update the “Commercial Areas Plan”, particularly the “Main Street Corridor” and “Community Commercial” sections, to reflect recommendations from the *Gardner Main Street Corridor Plan*, *Gardner Destination Downtown Plan*, and requirements of the *Gardner Land Development Code*. Also includes updating the associated map.
9. Update the “Industrial Areas Plan” to reflect recommendations from the *Gardner Main Street Corridor Plan* as highlighted above and the requirements of the *Gardner Land Development Code*. Also includes updating the associated map.

### **Chapter 6 updates**

10. Update all applicable information and maps pertaining to the updated *Transportation Master Plan*, *Gardner Main Street Corridor Plan*, *Gardner Destination Downtown Plan*, recommendations of the applicable citizen advisory committees, and completed projects.
11. Update public transit information to reflect current conditions and the recommendations of the *Southwest Johnson County Transit Plan* and *Gardner Destination Downtown Plan*.
12. Include recommended street types for Gardner roadways on a new map, based on the *Gardner Land Development Code*.
13. Indicate the adoption of a Complete Streets Policy as part of the *Gardner Land Development Code*.

### **Chapter 9 updates**

14. Update the “Events & Promotion” section to reflect Gardner’s recent rebranding activities and results.

### **Appendix A updates**

15. Create an annual executive summary of achieved tasks as an introductory “progress report” in “Appendix A: Action Plan”, and update the status column of the accompanying table. Such summaries should be created for each year beginning in 2015.

16. Include information on the methods of continuing public engagement that have been undertaken since 2014, and the associated documents or initiatives.

**Potential action items discussed at the joint review session in December 2018 include:**

1. Ensure the plan reflects support for both local entrepreneurial and corporate economic opportunities and formats.
2. Broaden economic development concerns to address tax base, affordability of living, and community identity among other issues. Review retail trends to ensure consistency with what the community promotes.
3. Consider consolidating the vision to one or two statements which may address the following priorities:
  - a. Steady tax base
  - b. Business-friendly environment
  - c. Quality-of-life and safety
4. Consider updating the City motto.
5. Structure goals and objectives to be more concise.
6. Prioritize the goals and objectives based on the following potential factors:
  - a. Growth and annexation
  - b. Transportation and mobility (includes infrastructure)
  - c. Neighborhoods and housing
  - d. Community character (includes open space, recreation, environmental features)
7. Consider the implications of current housing trends and how they are impacted by lifestyle choices.

**Additional recommended action items for 2020 plan amendments**

1. Incorporate the *Gardner Destination Downtown Plan* – The Comprehensive Plan must be updated in 2020 to reflect the recommendations of the *Gardner Destination Downtown Plan* (to be incorporated by reference after adoption).
2. Annual update of Chapter 12 Capital Improvements Element – Amend the CIE and Capital Improvements Plan to include items from the *Gardner Destination Downtown Plan*.
3. Future land use planning for the remainder of the community – Facilitate a concentrated community planning exercise to update the remainder of the City's land use plan to reflect emerging growth trends and community needs and preferences. This will be important to guide development during this time of rapid growth and annexation.
4. Incorporate relevant information and recommendations from regional plans – Staff should research regional plans for information on relevant trends that impact Gardner's Comprehensive Plan, such as the Mid-America Regional Council's 2040 forecasts, Connected KC 1050 (Transportation), Climate Action Playbook 2019, Regional Green Infrastructure Policy Framework, Communities for All Ages program, and Regional Housing Plan. A greater focus should be created for issues of sustainability and resilience.

**RECOMMENDATION**

Staff recommends receiving the annual review of the Comprehensive Plan and initiating amendments as identified in the staff report (specifically potential action items from the 2018 joint Planning Commission/Governing Body meeting and additional recommended action items for 2020), with draft text to be presented at future meetings in 2020.



**Recommended Motion:**

The Planning Commission receives the annual review of the Comprehensive Plan and initiates amendments as identified in the January 28, 2020 staff report for implementation as anticipated amendments to the Comprehensive Plan in 2020, specifically those items identified during the 2018 joint Planning Commission/Governing Body meeting and additional recommended items for 2020.

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**PROJECT NUMBER / TITLE: Recap of 2019 Planning Commission activities**

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**REQUESTED ACTION**

A Year in Review – celebrate a job well done!

**BACKGROUND / HISTORY**

The following is a summary of Planning Commission activities for 2019.

***The Commission approved the following projects/applications:***

1. **Divine Mercy Church** (Addition of parish residence to site of established church)
  - a. Preliminary Plat – 7.46 acres, 1 residential lot (add land to previously platted parcel)
  - b. Final Plat (1<sup>st</sup> plat) – same as Preliminary Plat
  - c. Site Plan – 7.46 acres, 1 lot, add a parish residence and detached garage
2. **Waverly Plaza** (mixed-use commercial and multi-family apartments)
  - a. Preliminary Plat – 13.10 acres, 3 commercial lots, 1 residential lot, 2 tracts for clubhouse/pool
  - b. Final Plat – 13.10 acres, 2 commercial lots, 1 residential lot, 1 tract for clubhouse/pool
  - c. Final Development Plan Phase 1 residential and Phase 2 north commercial – 11.6 acres, 2 lots and a tract for the clubhouse and pool
3. **Plaza South** (mixed commercial and civic use complex)
  - a. Preliminary Plat – 28.58 acres, 9 commercial lots
  - b. Final Plat – 28.58 acres, 8 commercial lots
4. **Warren Place Event Center** (commercial development)
  - a. Preliminary Plat – 1.65 acres, combine to 1 commercial lot with 3 buildings
  - b. Final Plat – same as Preliminary Plat
  - c. Final Development Plan – 1.65 acres, 1 commercial lot with 3 buildings and outdoor gardens and gathering areas for events
5. **Ace Hardware** (commercial addition)
  - a. Site Plan – 3,575 sf expansion involving cross access and parking easement with adjacent property
6. **Tallgrass Apartments** (multi-family apartment complex)
  - a. Preliminary Plat – 43 acres, 7 residential lots
  - b. Final Plat (1<sup>st</sup> Plat) – 13.39 acres, 2 multi-family lots and a tract
  - c. Final Development Plan (Phase 1) – 13.39 acres, 10 buildings (184 dwelling units), 5 garage structures, clubhouse and swimming pool, mail house, trash compactor enclosure, and maintenance building
7. **Quicktrip** (commercial development)
  - a. Site Plan – 9 acres, 2 commercial lots
8. **Symphony Farms Amenities Area** (subdivision pool and restrooms only)
  - a. Site Plan – 2.5 acres, 2 residential lots
9. **Main Street Marketplace** (revised final plat) – 13.4 acres, 4 commercial lots



***The Commission recommended that the Council approve the following projects/applications (and Council complied with the recommendation):***

1. **Pets Go Here** (pet supply retail, wholesale)
  - a. Rezoning 1.97 acres from M-2 (General Industrial) District to M-1 (Restricted Industrial) District to allow for retail sales onsite (**Ord. 2600**)
2. **Divine Mercy Church** (Addition of parish residence to established church site)
  - a. Rezoning 7.46 acres from A (Agriculture) District to R-4 (Mixed-Density Neighborhood) District (**Ord. 2605**)
3. **Waverly Plaza** (mixed-use commercial and multi-family apartments)
  - a. Rezoning 13.10 acres from CP-2 (Planned General Business), and RP-3 (Planned Garden Apartments) Districts to CP-2 (Planned General Business), and RP-3 (Planned Garden Apartments) Districts (to accommodate revised development plan) (**Ord. 2606**)
  - b. Preliminary Development Plan – 13.10 acres, 5 retail buildings and 5 apartment buildings (144 units) with 5 garage structures, pool and clubhouse (**Ord. 2606**)
4. **Plaza South** (mixed commercial and civic use complex)
  - a. Rezoning 28.58 acres from C-2 (General Business) District to ACP-2 (Activity Center Planned General Business) District (**Ord. 2612**)
  - b. Preliminary Development Plan – 28.58 acres, 6 commercial buildings, 1 lodging, 1 assisted living, and 1 church (**Ord. 2612**)
5. **Tallgrass Apartments** (multi-family apartment complex)
  - a. Rezoning 43 acres from R-3 (Garden Apartment), RP-3 (Planned Garden Apartment) and RP-4 (Planned Mixed Density Neighborhood) Districts to RP-3 (Planned Garden Apartment District) (**Ord. 2621**)
  - b. Preliminary Development Plan – 43 acres, 31 residential apartment buildings and 2 duplex buildings (592 apartment units and 4 duplex units), clubhouse and pool, maintenance building, 19 multi-stall garages and other recreational amenities. (**Ord. 2621**)
6. **Symphony Farms Amenities Area** (subdivision park)
  - a. Rezoning 2.5 acres from R-1 (Single-Family Residential) District to RP-1 (Planned Single-Family Residential) District (**Ord. 2636**)
  - b. Preliminary Development Plan – 2.5 acres, clubhouse, sport court, community garden (**Ord. 2636**)

***The Commission recommended approval of the following text amendments (and Council complied with recommendation):***

- **TA-19-01 (Ord. 2617)** – Board of Zoning Appeals membership and quorum

***Other Commission actions:***

- Completed Planning Commission Survey pertaining to orientation, workload, staff reports and communications, staff support, presentations, perceived impact of the work.
- Planning Commissioner Training by Dave Knopick.
- Provided input on potential Land Development Code amendments pertaining to neighborhood meetings, bicycle parking, and garage limits for duplexes.

There was no presentation of the Capital Improvement Program to determine conformance with the Comprehensive Plan in 2019.

There was no review of the Comprehensive Plan, or any Comprehensive Plan amendments in 2019. However, Consultant Dave Knopick and staff led an annual review of the Comprehensive Plan in a joint work session with the Governing Body and Planning Commission in December 2018. Identified action items that were discussed but not yet initiated will be presented in a separate agenda item.

***Project Status: 2017 approvals***

- Bethel Estates No. 4 – nearing completion.
- Single-family homes under construction at Plum Creek Manor II, Copper Springs IV, and Quail Meadows II.
- Tuscan Farms – anticipated to begin construction on public improvements this spring.

***Project Status: 2018 approvals***

- Cottages at University Park and Garden Walk apartments – property was sold and new project approved for Tallgrass apartments.
- Gardner Justice Center – complete and already well-loved by the community and staff.
- Gardner Business Center Phase 1 – nearing completion.
- Olathe Health Urgent Care Gardner – nearing completion.
- Willow Chase V – public improvements complete, duplexes under construction.
- Gardner Dental – nearing completion.
- Main Street Market Place – Phase I Price Chopper under construction.
- Mid America Bank – complete.
- Symphony Farms IV – homes under construction.
- Valero Gas Station – building plan for addition has expired.
- Belfonte Car Wash – under construction.
- Olathe Ford RV expansion – rezoned, but no site plan submitted.
- Enterprise Rental – complete.

***Project Status: 2019 approvals***

- Pets Go Here – added retail component after rezoning.
- Divine Mercy Church – parish residence under construction
- Waverly Plaza – preparing for the construction of public infrastructure improvements in conjunction with the Gardner street improvement projects in the area.
- Plaza South – preparing for the construction of public infrastructure improvements in conjunction with the Gardner street improvement projects in the area.
- Warren Place Event Center – under construction.
- Ace Hardware addition – under construction.
- Tallgrass Apartments – in the process of approving public improvement plans for phase 1.
- Quick Trip – needs preliminary and final plat approval pending negotiations on ROW acquisition/condemnation.
- Symphony Farms Amenities Area – pool and restrooms are currently under construction. Awaiting filing of administrative plat to proceed with remainder of project.



## **STAFF APPROVALS**

Please be aware of the cases that have been reviewed and approved administratively (by staff) through the simplified process enabled by the Land Development Code.

- ***Administrative Plat***
  - University Park No. 2 (12 duplex lot splits, resulting in 24 dwelling units)
  - Genesis Farms Addition #2 (1 duplex lot split, resulting in 2 dwelling units)
  - Gardner Truck Plaza (boundary shift, replat of lot by the Super 8)
  - Sunrise Shore (lot combination at Gardner Lake)
  - Symphony Farms Amenities Area (lot combination for subdivision park)
- ***Administrative Site Plan***
  - Cordray Office (building remodel and change of use)
  - Black and Veatch/AT&T (wireless facility eligible facility request)
- ***Administrative Adjustment***
  - 9 duplexes for Greg Prieb (hardscape, garage limits)

**We greatly appreciate your time and effort on the Planning Commission and look forward to a busy 2020!**